

SHEET INDEX	
Sheet Title	Sheet Number
COVER SHEET	C-1
EXISTING CONDITIONS & DEMOLITION PLAN	C-2
AREA & SOIL MAP	C-3
SITE & UTILITY PLAN	C-4
GRADING & STORM DRAINAGE PLAN	C-5
LIGHTING PLAN	C-6
SANITARY SEWER OUTFALL 'A' PLAN & PROFILE	C-7
EROSION CONTROL PLAN PH I	C-8
EROSION CONTROL PLAN PH II	C-9
EROSION CONTROL PLAN PH III	C-10
SITE DETAILS	D-1
WATER & SEWER DETAILS	D-2
STORMWATER DETAILS	D-3
STORMWATER DETAILS	D-4
STORMFILTER DETAILS	D-5
EROSION CONTROL DETAILS	D-6
EROSION CONTROL DETAILS	D-7
LANDSCAPE PLAN	L-1
TREE PROTECTION PLAN	L-2
FLOOR PLAN	A-1
ARCHITECTURAL ELEVATIONS	A-2

Waivers Granted from Unified Development Ordinance Section 6 (Development Standards):

1. **Section 6, Subsection 6.13 (Parking, Loading, and Circulation), Paragraph 6.13.12 (Design Requirements), Sub-paragraph 6.13.12.1 states** "Delivery areas, loading docks, and service areas shall be located behind the primary building."
- Reason for Need:** Due to the configuration of this parcel being a corner lot at the intersection of two streets, it becomes difficult to meet all the requirements of the UDO for parking, loading zone areas, and building orientation. The building has been oriented to provide access off Meadowland Drive with the entry of the building facing the interior of the lot. This pushes the building back along the frontage of US 70A East with a limited area for a loading zone between the building and the right-of-way. Due to these constraints, we have placed the loading zone off to the west side of the building. This location will be buffered from both Meadowland Drive and US 70A East, and we believe meets the spirit and intent of the ordinance to the fullest extent possible on this site.
- Waiver Granted:** The delivery/Loading area is approved on the west side of the building.
2. **Section 6, Subsection 6.17 (Sidewalks and Walkways), Paragraph 6.17.2 (Applicability):** "Sidewalks and walkways must be constructed as a part of all new developments. For the purposes of this subsection, "new development" means a development project subject to any of the following."
- 6.17.2.1** Master Plan approval.
- 6.17.2.2** Special Use Permit, including modifications thereof.
- 6.17.2.3** Site Plan review involving a zoning lot that is one acre or greater in area and:
- 6.17.2.3.a** Proposes initial development on the zoning lot, or
- 6.17.2.3.b** Proposes significant redevelopment disturbing 50% or more of the zoning lot area, or
- 6.17.2.3.c** Proposes renovation or redevelopment that exceeds one-third of the existing structure's replacement cost (new)
- 6.17.2.4** Construction of a new principal structure on a zoning lot, including significant renovation of an existing structure or vehicle accommodation area that disturbs 50% or more of the area of the zoning lot or exceeds one-third of the existing structure's replacement cost (new).
- Reason for Need:** A sidewalk along US 70A East was approved as part of the Habitat for Humanity's Development East Village at Meadowlands Townhomes project and will be built when that project is constructed. The developer of Tryon III is not responsible for any construction elements associated with the East Village Project.
- Waiver Granted:** Construction of the required sidewalk along the Tryon Investments Phase III developer's ("developer") US 70-A East lot frontage is already required pursuant to a previously issued Special Use Permit for an adjacent townhome development to the east (East Village at Meadowlands). Therefore, a waiver is granted exempting the Tryon Investments Phase III developer from installing the sidewalk, subject to the following condition offered by the developer and agreed to by the Board of Adjustment:
- a. if construction of the East Village at Meadowlands project is not begun within three years of the issuance of the CO (Certificate of Occupancy) for the Tryon Investments Phase III building, then the Tryon Investments Phase III developer will construct the required sidewalk along its US 70-A East lot frontage.
- b. Prior to receiving a CO for the Tryon Investments Phase III building, the developer will post a financial security, in a form acceptable to the Town, with the Town ensuring sidewalk construction consistent with this condition.
3. **Section 6, Subsection 6.22 (Tree Preservation), Paragraph 6.22.4 (Standards), Sub-paragraph 6.22.4.2, Item 6.22.4.2.b states** "For sites with existing, pre-development tree coverage area that covers more than 25% but less than 50% of the site, maintenance of the tree coverage area is required."
- Reason for Need:** At 1.48 acres, this is a relatively small parcel for commercial development under HIC zoning, and preservation of trees becomes difficult. While we are removing a total of forty-one (41) canopy trees, we are also providing nineteen (19) replacement canopy trees. Another constraint for providing additional canopy trees is the sewer easement that will run along the south side of the property. No trees are allowed to be installed within the easement, so this removes a significant area for the replacement of the canopy. The new sewer will not only serve this development but will also serve the East Village at Meadowlands Habitat project to the east. Overall, we are only 11% below the required canopy coverage and have taken every measure possible to meet the spirit and intent of the ordinance for this requirement.
- Waiver Granted:** The project's tree coverage may be reduced from 41% pre-development to 30% post-development.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4849) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SITE PLAN FOR TRYON INVESTMENTS PHASE III

PROPOSED FLEX SPACE BUILDING 640 MEADOWLAND DRIVE TOWN OF HILLSBOROUGH, ORANGE COUNTY, NC

P.I.N. 9874-81-3230
SUBMITTAL #1 SEPTEMBER 16, 2021
SUBMITTAL #2 NOVEMBER 23, 2021
SUBMITTAL #3 FEBRUARY 14, 2022
SUBMITTAL #4 MAY 03, 2022
SUBMITTAL #5 JULY 18, 2022
SUBMITTAL FOR BOA JULY 27, 2022
BOA AUGUST 10, 2022

PUBLIC SERVICE CONTACTS :

WATER:	TOWN OF HILLSBOROUGH LUCAS CATES 101 EAST ORANGE ST HILLSBOROUGH, NC 27278 (919)296-9633 LUCAS.CATES@HILLSBOROUGHNC.GOV	TELEPHONE:	CENTURYLINK TONY ROCCO (252)468-7010 ANTHONY.J.ROCCO@CENTURYLINK.COM
SEWER:	TOWN OF HILLSBOROUGH LUCAS CATES 101 EAST ORANGE ST HILLSBOROUGH, NC 27278 (919)296-9633 LUCAS.CATES@HILLSBOROUGHNC.GOV	ROADWAY:	TOWN OF HILLSBOROUGH PUBLIC WORKS DEPARTMENT MANAGER-DUSTIN HILL 101 EAST ORANGE STREET HILLSBOROUGH, NC 27278 (919) 296-9601 DUSTIN.HILL@HILLSBOROUGHNC.GOV
EROSION CONTROL:	ORANGE COUNTY PLANNING & INSPECTIONS EROSION CONTROL DIVISION PATRICK MALLETT 131 W. MARGARET LN, SUITE 201 HILLSBOROUGH, NC 27278 (919)245-2577 PMALLETT@ORANGECOUNTYNC.GOV	STATE ROADWAYS:	NC DOT - DIVISION 7, DISTRICT 1 CHARLES N. EDWARDS (CHUCK), PE DISTRICT ENGINEER 115 E. DRESCENT SQUARE DRIVE PO BOX 766 GRAHAM, NC 27253 (336) 570-8833
ELECTRIC:	DUKE ENERGY ANTHONY PERRY 4412 HILLSBOROUGH RD DURHAM, NC 27705 (919)687-3146	RECYCLING:	ORANGE COUNTY SOLID WASTE MANAGEMENT DEPT - MATT TAYLOR PO BOX 17177 CHAPEL HILL NC 27516 (919)968-2989 MTAYLOR@ORANGECOUNTYNC.GOV
SOLID WASTE:	GFL ENVIRONMENTAL WASTE MANAGEMENT COMPANY 148 STONE PARK CT DURHAM, NC 27703 (919)596-1383	TOWN PLANNING/ ZONING:	TOWN OF HILLSBOROUGH TOM KING, AICP, CZO 101 EAST ORANGE ST. HILLSBOROUGH, NC 27278 (919) 296-9475 TOM.KING@HILLSBOROUGHNC.GOV
GAS:	PSNC ENERGY BRIAN SMITH 2541 WHILDON DRIVE DURHAM, NC 27713 (919)598-7454	STORMWATER:	TOWN OF HILLSBOROUGH HEATHER FISHER 101 EAST ORANGE ST HILLSBOROUGH, NC 27278 (919)296-9622 HEATHER.FISHER@HILLSBOROUGHNC.GOV

DEVELOPER/OWNER

640 MEADOWLANDS DRIVE, LLC
40 JAMES PARKER JR & GEORGE HORTON III
320 EXECUTIVE COURT
HILLSBOROUGH, NC 27278
(919) 732-3883
JIMPARKER16@GMAIL.COM
GEORGEHORTON@BELLSOUTH.NET

SURVEY CONTACT

SUMMIT DESIGN & ENGINEERING SERVICES
BRANTLEY WELLS, PLS
320 EXECUTIVE COURT
HILLSBOROUGH, NC 27278
(919) 732-3883 (PHONE)
(919) 732-6676 (FAX)
BRANTLEY.WELLS@SUMMITDE.NET

ENGINEER CONTACT

SUMMIT DESIGN & ENGINEERING SERVICES
TIM SMITH, PE
320 EXECUTIVE COURT
HILLSBOROUGH, NC 27278
(919) 732-3883 (PHONE)
(919) 732-6676 (FAX)
TIM.SMITH@SUMMITDE.NET



SITE LOCATION MAP
NOT TO SCALE

VICINITY MAP

NOT TO SCALE



ORANGE COUNTY SOLID WASTE NOTES:

- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION / PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- BY ORANGE COUNTY ORDINANCE: ALL CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION WASTE MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE: ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- CORRUGATED CARDBOARD IS A REGULATED RECYCLABLE MATERIAL AND MUST BE KEPT SEPARATE FROM MUNICIPAL SOLID WASTE AND MUST BE RECYCLED. THE PROJECT APPLICANT/DEVELOPER HAS CHOSEN THE OPTION OF HAVING THE SITE GENERATED CORRUGATED CARDBOARD WILL BE COLLECTED BY A PRIVATE WASTE CONTRACTOR.

DESIGN COMMITMENTS:

- DEVELOPER TO SELECT THE OPTION TO MAKE A PAYMENT TO THE TOWN OF HILLSBOROUGH IN LIEU OF CONSTRUCTING A PUBLIC SIDEWALK ALONG MEADOWLANDS DRIVE.
- THE DEVELOPER HAS DECIDED NOT TO PURSUE PIPING THE STORM STREAM.

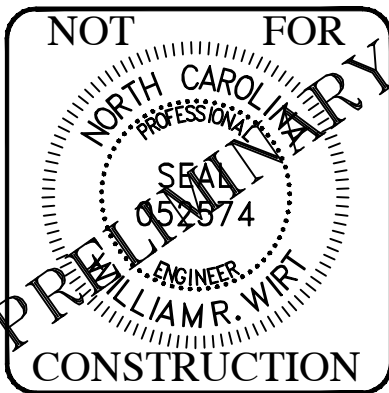
GENERAL NOTES:

- CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TOWN STANDARD DETAILS, CODE OF ORDINANCE AND STANDARD SPECIFICATIONS, IF APPLICABLE.
- ALL SITE WORK, AT A MINIMUM, SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 NCDOT ROADWAY STANDARD DRAWINGS AND STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE NOTED OR DIRECTED.
- CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE AND THE MOST CURRENT TOWN, COUNTY, STATE, NCDOT AND UTILITY PROVIDER STANDARDS, SPECIFICATIONS AND BUILDING CODES LATEST EDITION.
- UNDERGROUND UTILITIES MAY EXIST ON, ALONG OR WITHIN CONFLICT OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING NC-811 FOR PUBLIC UTILITIES OR THE APPROPRIATE UTILITY COMPANIES PRIOR TO ANY EXCAVATION. THE PRIVATE UTILITIES ARE NOT LOCATED THROUGH NC-811.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DEMOLITION OF ALL EXISTING ON SITE ITEMS, ABOVE AND BELOW GROUND AS INDICATED ON THE DEMOLITION PLAN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REMOVAL OF ALL WASTE RESULTING FROM DEMOLITION, AS WELL AS GRADING AND FILLING OF ALL DEPRESSIONS TO INSURE THE SITE REMAINS AESTHETICALLY ACCEPTABLE.
- THE CONTRACTOR SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS IN THE PERFORMANCE OF ALL WORK IN ACCORDANCE WITH OSHA.
- THE CONTRACTOR SHALL GRADE, SEED AND SOD OR OTHERWISE PROVIDE TEMPORARY AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, ESPECIALLY SLOPES. SEE EROSION CONTROL INSTRUCTIONS, IF APPLICABLE.
- WORK WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS, NOTIFICATIONS, STANDARDS AND POLICIES.
- ANY SUBSTITUTIONS, CHANGES, OR MODIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER, PLANNING DEPARTMENT STAFF, AND DEVELOPER PRIOR TO INSTALLATION/CONSTRUCTION OF CORRESPONDING ITEMS.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS NECESSARY FOR CONSTRUCTION. THE CONTRACTOR SHALL READ ALL PERMITS AND ENSURE THAT CONSTRUCTION COMPLIES WITH THE PERMITS. REQUIRED PERMITS AND REVIEWS MAY INCLUDE, BUT ARE NOT LIMITED TO: CITY/COUNTY APPROVALS/PERMITS, FIRE DEPARTMENT, SOLID WASTE REVIEWS, NCDOT PERMITS, DRIVEWAY PERMITS, RIGHT OF WAY ENCROACHMENT AGREEMENTS, SOIL AND EROSION CONTROL PERMITS, NCDENR PERMITS, WATER PERMITS, SEWER PERMITS, ENVIRONMENTAL PERMITS, WETLAND DISTURBANCE PERMITS, STREAM CROSSING PERMITS, POWER EASEMENT ENCROACHMENT AGREEMENTS, USACE/DWQ PERMITS, STORMWATER PERMITS, ZONING APPROVAL, AND BUILDING CODE APPROVALS/PERMITS. IF THE CONTRACTOR HAS QUESTIONS ABOUT PERMIT LANGUAGE, OR THE NEED FOR A PERMIT, HE MUST CONTACT THE DEVELOPER AND THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- THIS SITE PLAN WILL EXPIRE IF A TOWN OF HILLSBOROUGH ZONING COMPLIANCE PERMIT HAS NOT BEEN ISSUED BY..... August 10, 2023.

Site Plan approved by Board of Adjustment on appeal.
August 10, 2022
Tom King, AICP, CZO 8/18/2022

DATE	BY	REVISIONS
7-21-2022	OS	7
5-25-2022	OS	5
4-22-2022	OS	4
2-14-2022	OS	3
11-2-2021	OS	2
11-2-2021	OS	1

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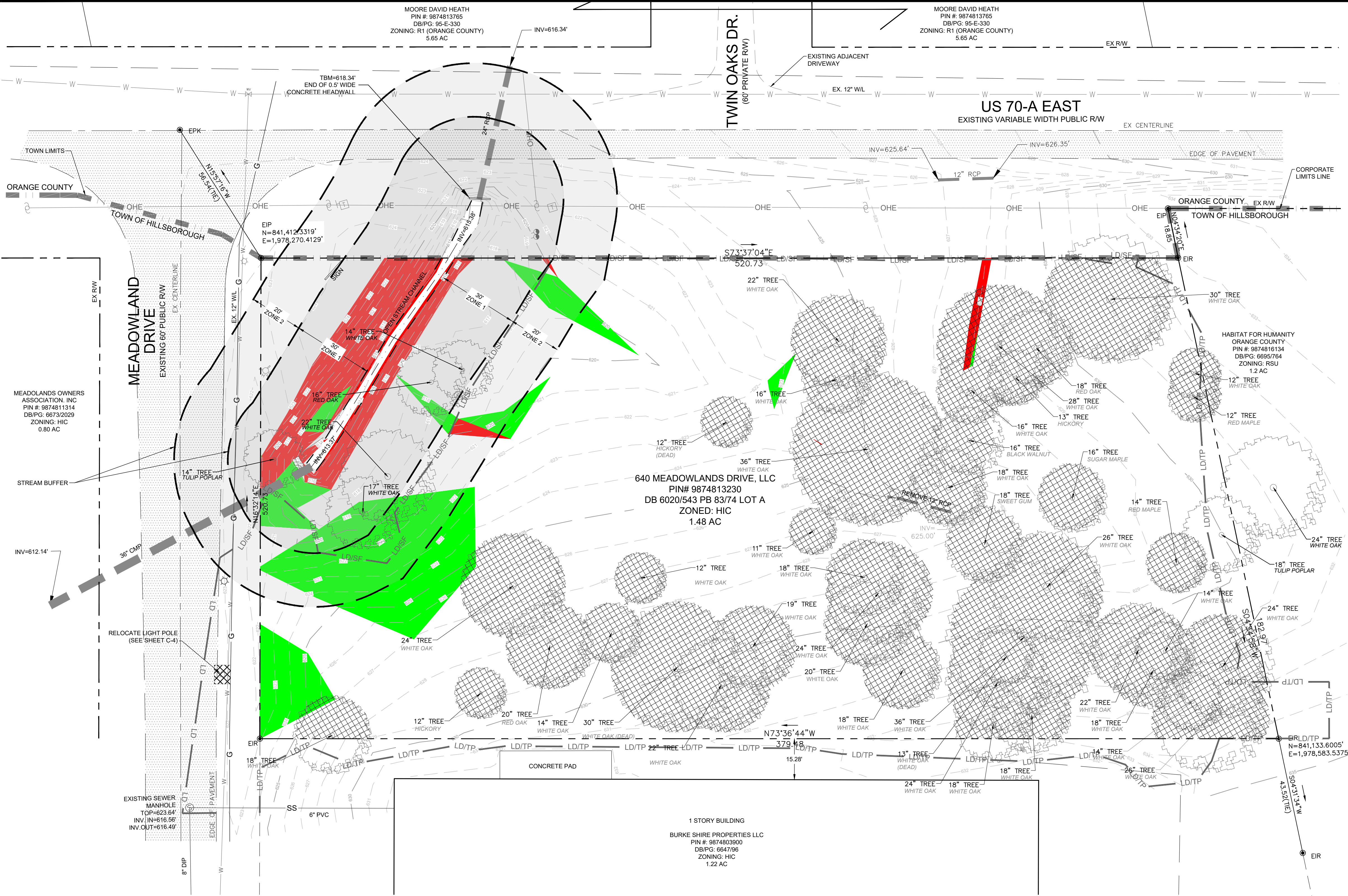
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SITE PLANS FOR
TRYON INVESTMENTS PH III
640 MEADOWLAND DRIVE
HILLSBOROUGH, NC 27278

COVER SHEET

PROJECT NO.	17-0531
DRAWING NAME:	17-0531_CS.dwg
SHEET NO.	C-1



- LEGEND**
- TELEPHONE PEDESTAL
 - CONTROLLER CABINET
 - CURB INLET
 - DROP INLET
 - LIGHT POLE
 - WATER METER
 - WATER VALVE
 - TRAFFIC SIGNAL BOX
 - EXISTING SEWER MANHOLE
 - CLEAN OUT
 - FIRE HYDRANT
 - POWER/LIGHT POLE
 - GUY WIRE
 - EXISTING MONUMENT FOUND
 - IRON ROD OR PIPE
 - CONCRETE MONUMENT SET
 - CONCRETE MONUMENT
 - EXISTING PIPE/CULVERT
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING TELEPHONE
 - EXISTING GAS LINE
 - EXISTING OVERHEAD UTILITY
 - EXISTING UNDERGROUND UTILITY
 - EXISTING WOODS LINE
 - RIGHT OF WAY LINE
 - ITEM TO BE DEMOLISHED

Slopes Table				
Number	Minimum Slope	Maximum Slope	Color	Total
1	15.00%	25.00%	Green	4597.57 SF
2	25.00%	100.00%	Red	2448.74 SF

DEMOLITION NOTES:

- ALL DEMOLITION, TRANSPORT, AND DISPOSAL OF WASTE MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, COUNTY, STATE AND FEDERAL REGULATIONS.
- REGULATED MATERIALS SUCH AS ASBESTOS, LEAD, ETC. MAY EXIST ON SITE AND SHALL BE IDENTIFIED AND A PLAN FOR DEMOLITION AND DISPOSAL PRESENTED TO AND APPROVED BY THE CITY/COUNTY AND OWNERS PRIOR TO COMMENCING DEMOLITION ON CORRESPONDING STRUCTURES.
- THE LOCATIONS OF ALL EXISTING FEATURES SHOWN ON THIS SHEET WERE PROVIDED AS PART OF THE SURVEY REFERENCED ON THIS SHEET. OTHER UNIDENTIFIED UTILITIES OR SITE FEATURES MAY EXIST AND SPECIAL CARE SHALL BE EXERCISED DURING ANY SUBGRADE WORK OR DEMOLITION TO PREVENT UNINTENDED LOSS OF SERVICE TO SURROUNDING PROPERTIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHTS-OF-WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO NCDOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, CURB & GUTTER, PAVEMENT, SIGNS AND ROADSIDE SWALES.
- CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN, IF REQUIRED BY ENCROACHMENT PERMIT TO NCDOT FOR APPROVAL PRIOR TO ANY WORK WITHIN THE NCDOT RIGHT-OF-WAY.
- ANY UTILITIES SHOWN TO BE REMOVED, DISPOSED OF, AND/OR ABANDONED SHALL BE DONE SO PER THE CORRESPONDING SERVICE PROVIDERS GUIDELINES.

DEMOLITION CALCULATIONS:

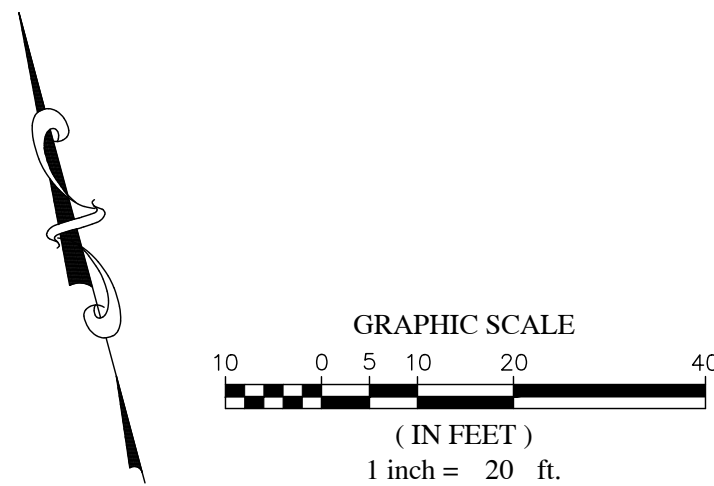
TO BE DEMOLISHED:
MEADOWLAND DRIVE LIGHT POLE: 1 EA (RELOCATED)
ON-SITE 12" RCP: 21 LF

SURVEY NOTES:

- SURVEY DATA AND LOCATIONS PROVIDED BY SUMMIT DESIGN & ENGINEERING SERVICES, PLLC, DATED APRIL 21, 2015. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL MEASUREMENTS ARE HORIZONTAL GROUND DISTANCES AND AREAS HAVE BEEN CALCULATED BY COORDINATE METHOD.
- THE LOCATION OF UNDERGROUND UTILITIES ARE SHOWN BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. EXACT LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THAT SHOWN AND ADDITIONAL BURIED UTILITIES MAY EXIST. CONTACT THE APPROPRIATE UTILITY COMPANIES FOR INFORMATION REGARDING BURIED UTILITIES.
- THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS SHOWN ON DFIRM MAP PANELS #9874, DATED NOVEMBER 17, 2017.
- THIS PROPERTY IS WITHIN THE NEUSE RIVER BASIN AND THE LOWER ENO (UNPROTECTED) WATERSHED.
- WETLANDS, JURISDICTIONAL WATERS OR OTHER CONDITIONS WHICH MAY BE REGULATED BY FEDERAL OR STATE OR LOCAL AGENCIES WERE NOT FOUND AS PART OF THIS SURVEY.
- THERE ARE NO IMPERVIOUS SURFACES ON THIS SITE.



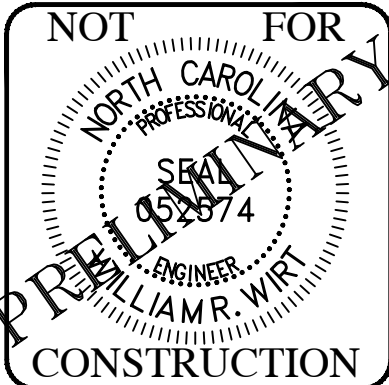
CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



NO.	DATE	BY
7		
6	7-21-2022	GS
5	5-25-2022	GS
4	5-25-2022	GS
3	2-14-2022	GS
2	2-14-2022	GS
1	1-23-2021	GS

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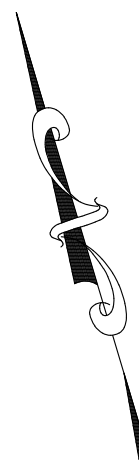
PROJECT ENGINEER/ARCHITECT
TAS (TAS@SUMMITDE.COM)
PROJECT MANAGER
WV (WILLIAM.VW@SUMMITDE.COM)
DRAWN BY
GS (GOWINDA.SEDHA@SUMMITDE.COM)
FIRST ISSUE DATE
05-15-2021



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www.summitde.net

SITE PLANS FOR
TRYON INVESTMENTS PH III
640 MEADOWLAND DRIVE
HILLSBOROUGH, NC 27278
EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO.
17-0531
DRAWING NAME:
17-0531_XC.dwg
SHEET NO.
C-2



SCALE 1"=100



SCALE: 1"=100'



PROJECT NO.
17-0531

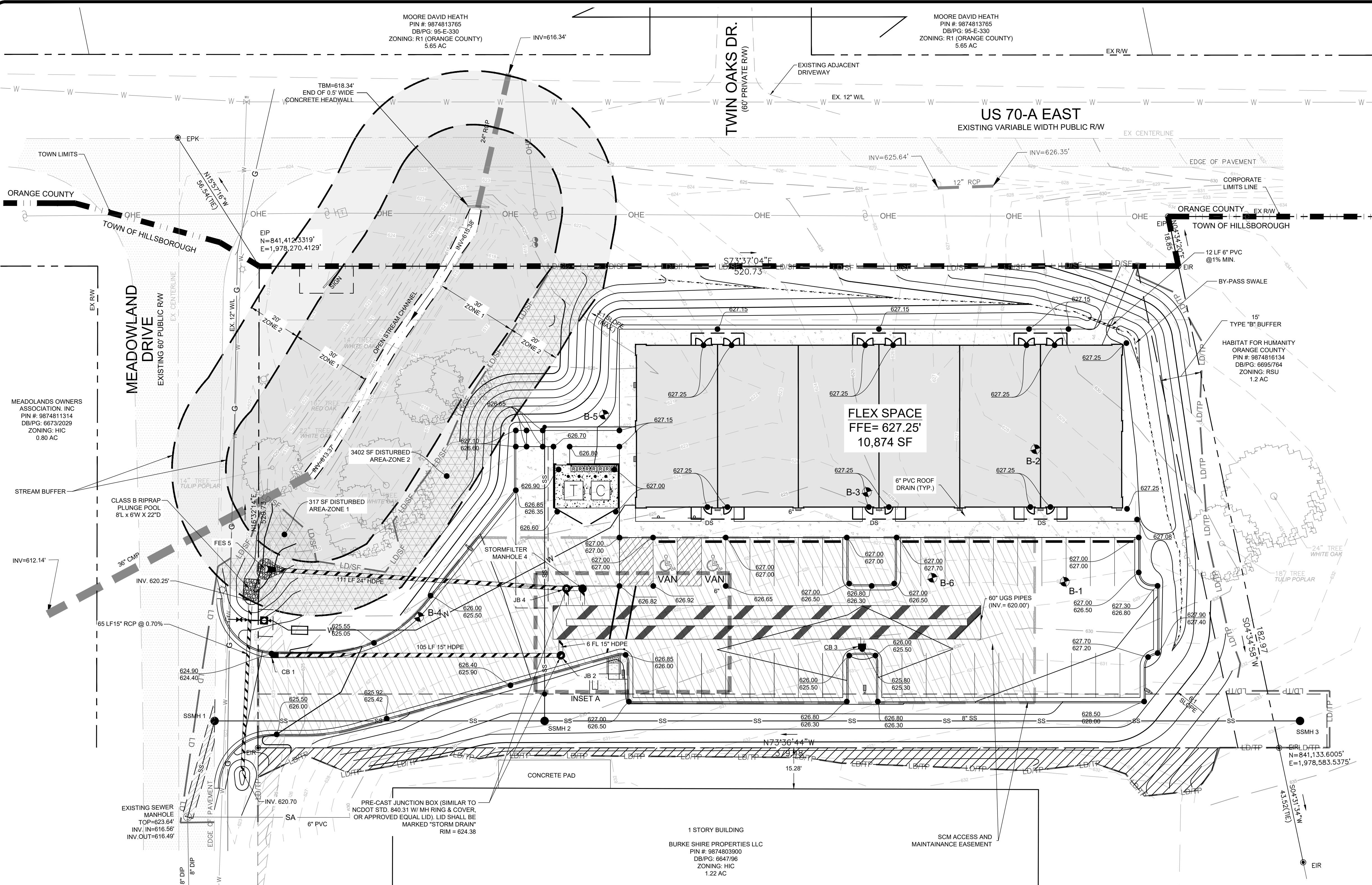
DRAWING NAME:
17-0531_A MAP.DWG

SHEET NO.
C-3

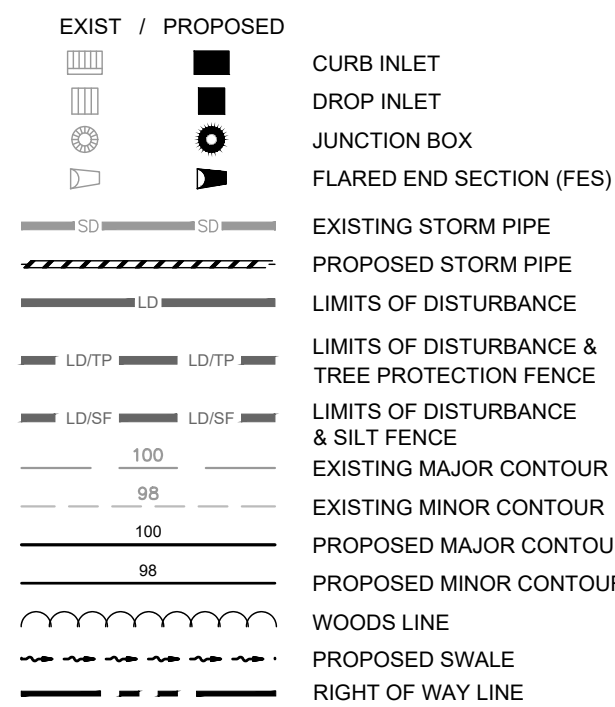
PROJECT NO.
17-0531

DRAWING NAME:
17-0531_S.dwg

SHEET NO.
C-4



GRADING & STORM LEGEND:



GENERAL NOTES:

- EXISTING TOPOGRAPHY AND BOUNDARY INFORMATION FROM SURVEY BY SUMMIT DESIGN & ENGINEERING SERVICES, DATED 10/24/2013.
- NO FLOODPLAINS ARE LOCATED ON SITE.
- THIS PROPERTY IS WITHIN THE LOWER ENO (UNPROTECTED) WATERSHED IN THE NEUSE RIVER BASIN.
- SEE STORMWATER, STORMFILTER & UNDERGROUND DETENTION DETAIL SHEETS.

GRADING & STORM DRAINAGE NOTES:

- THIS PROPERTY IS WITHIN THE LOWER ENO (UNPROTECTED) WATERSHED IN THE NEUSE RIVER BASIN.
- ALL PIPE TO BE INSTALLED ON-SITE AND IN THE RIGHTS OF WAY SHALL MEET OR EXCEED THE NCDOT ASTM AND AASHTO SPECIFICATION REQUIREMENTS FOR SUCH PIPE MATERIAL. CONTRACTOR SHALL VERIFY APPROVAL WITH NCDOT FOR ALL PIPE MATERIALS TO BE USED IN THE RIGHT OF WAY.
- ALL WORK WITHIN NCDOT ROW SHALL COMPLY W/ 2012 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, NCDOT STANDARD DRAWINGS, AND THE MUTCD STANDARDS.
- ROOF DRAIN CONNECTIONS AND INLINE CATCH BASINS IN NON-TRAFFIC BEARING LOCATIONS MAY BE HDPE SYSTEMS SUCH AS "NYLOPLAST" BY ADS OR APPROVED EQUAL (SEE DETAILS FOR USE AS STORM DRAINAGE SYSTEM).
- ALL ON-SITE PIPE SHALL BE INSTALLED MEETING COVER, BACKFILL AND BEDDING REQUIREMENTS PER THE MANUFACTURER'S RECOMMENDATIONS.
- NCDOT PRE-CAST DRAINAGE STRUCTURES / MANHOLES CAN BE USED IN LIEU OF NCDOT STANDARD BRICK OR CONCRETE CATCH BASINS. ANY DEVIATION FROM THE SPECIFIED STRUCTURES SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION AND SHALL MAINTAIN COMPLIANCE WITH ALL CORRESPONDING NCDOT MATERIAL, DRAWING & DETAILED SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY THAT PROPOSED GRADES MATCH EXISTING PAVEMENT AT ALL CONNECTION/ Tie POINTS PRIOR TO FINAL LIFT OF ASPHALT. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.
- PROPOSED CONTOUR LINES REPRESENT FINISHED GRADE ELEVATIONS. CONTOUR LINES MAY BE ADJUSTED AT THEIR BEGINNING, ENDING AND AT STRUCTURES AS DIRECTED BY THE ENGINEER IN ORDER TO PROVIDE A PROPER TIE-IN.
- CONTRACTOR SHALL FIELD VERIFY TIE OUT POINTS, PROPOSED INVERTS, FFE'S & FINISHED SURFACES PRIOR TO CONSTRUCTION TO AVOID CONFLICTS. CONTACT ENGINEER IF DISCREPANCIES ARE FOUND.
- ADDITIONAL DISTURBANCE MAY BE REQUIRED FOR FINAL SEEDING AND PLANTING PREPARATIONS. SEE ARCHITECTURAL PLANS FOR LANDSCAPE PLANTING PROVISIONS AND SPECIFICATIONS.
- TOWN PLANNING DEPARTMENT STAFF WILL BE CONTACTED TO INSPECT TREE PROTECTION FENCING BEFORE GRADING WORK BEGINS.
- THE TOWN OF HILLSBOROUGH MUST APPROVE THE STORMWATER MANAGEMENT PLAN FOR THIS PROJECT.
- MONITOR, MAINTAIN, MOVE AND/OR ADD SILT FENCE, SILT FENCE OUTLETS, AND J-HOOKS AS NEEDED BASED ON FIELD AND RUNOFF CONDITIONS AND AS DIRECTED BY THE ENGINEER AND/OR COUNTY REPRESENTATIVE.
- A SEDIMENTATION AND EROSION CONTROL PLAN MUST BE SUBMITTED TO AND APPROVED BY ORANGE COUNTY AND A ZONING COMPLIANCE PERMIT FROM THE TOWN OF HILLSBOROUGH WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A LAND-DISTURBANCE PERMIT.
- IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBING PERMIT.
- ALL REQUIRED STORM DRAINAGE AND BMP EASEMENTS TO BE PLATTED UPON FINAL CONSTRUCTION OF NEW CONVEYANCES.
- ALL UTILITY TRENCHING, BACKFILL, FOOTER AND BUILDING PAD PREPARATIONS, AND SUB-GRADE COMPACTION EFFORTS SHALL MEET/EXCEED GEOTECHNICAL RECOMMENDATIONS IN REPORT BY SUMMIT DESIGN AND ENGINEERING SERVICES DATED OCTOBER 28, 2015.
- ADDITIONAL SPECIFICATIONS AND REQUIREMENTS FOR BUILDING PAD PREPARATION AND COMPACTION MAY EXIST IN ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SHALL BE EXECUTED / IMPLEMENTED AS REQUIRED.
- ALL PERMANENT SLOPES, INCLUDING SCM SIDE SLOPES, WILL BE CONSTRUCTED AT NO STEEPER THAN 3:1.
- THE EARTHWORK ON THIS PLAN DOES NOT NECESSARILY BALANCE; OFFSITE BORROW OR WASTE MAY BE REQUIRED.
- PER NORTH CAROLINA BUILDING CODE APPENDIX J ALL FILL SHALL AT A MINIMUM MEET 90% STANDARD PROCTOR DENSITY PER ASTM D 1557. ALL OTHER PORTIONS OF EARTHWORK AND GRADING AT A MINIMUM SHALL ADHERE TO THIS CODE SECTION, BUT IN NO WAY SHALL SUPERCEDE THE SITE SPECIFIC GEO-TECHNICAL RECOMMENDATIONS.
- SILT CURB LOCATIONS SHALL BE FIELD DETERMINED BY CONTRACTOR, PRIOR TO INSTALLATIONS, TO ENSURE POSITIVE DRAINAGE TO DRAINAGE STRUCTURES AND BMP'S. NO "BIRD BATHS" WILL BE ALLOWED WITH IN CURB AND GUTTER OR PAVED AREAS.
- ALL OFF-SITE RUNOFF WILL BE DIVERTED AROUND THE SITE THROUGH THE BY-PASS SWALE DIMENSIONED ON THIS SHEET.

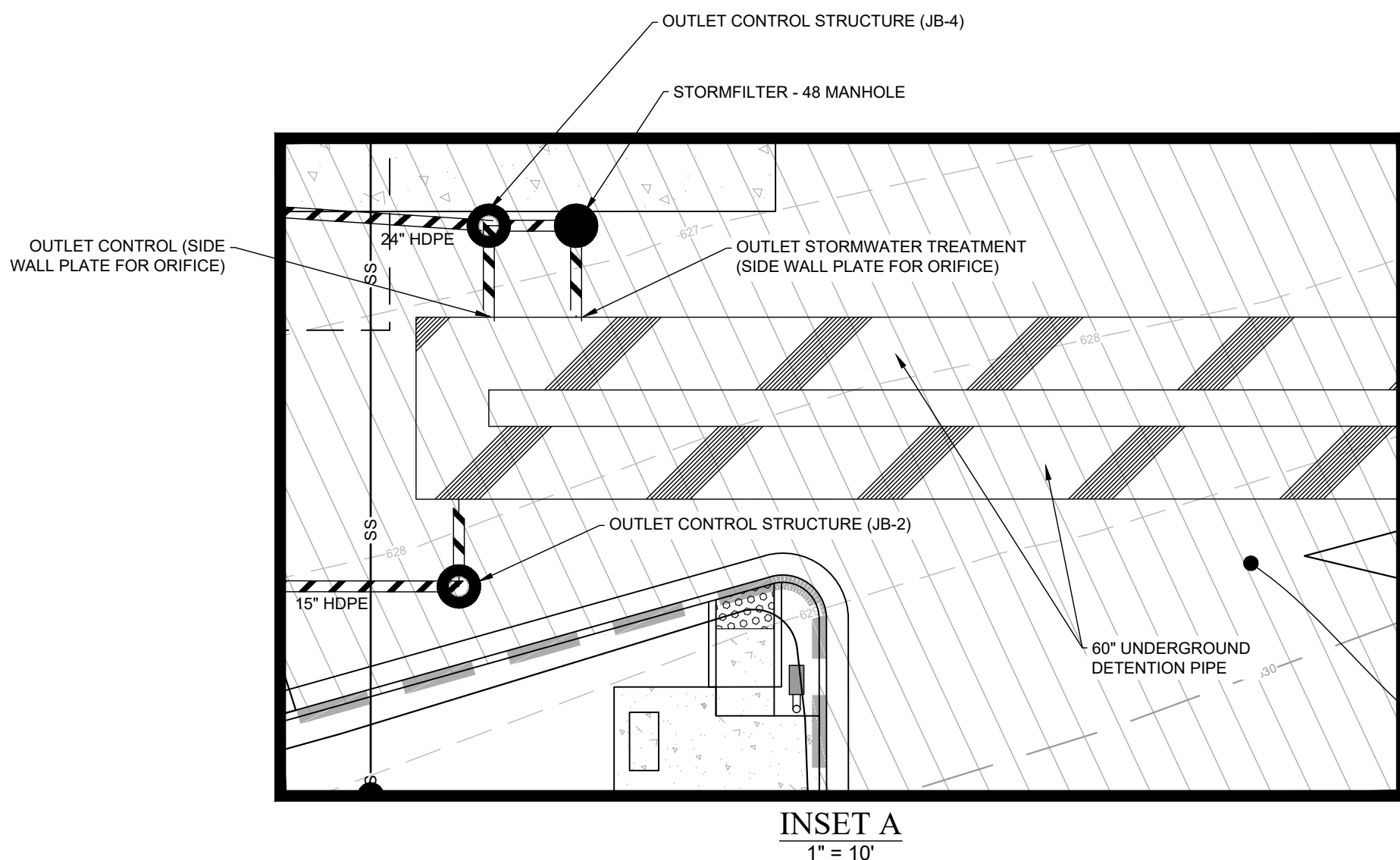
BORING AND ROCK ELEVATIONS:

PROBE NO.	LOCATION	EXISTING GROUND SURFACE ELEVATION	DEPTH TO TOP OF WEATHERED ROCK (ft)	ELEVATION TOP OF WEATHERED ROCK	DEPTH TO TOP OF CRYSTALLINE ROCK (ft)	ELEVATION TOP OF CRYSTALLINE ROCK
B-1	Proposed Future Building Pad	628.2	n/a	n/a	n/a	n/a
B-2	Proposed Future Building Pad	628.1	11.0	617.1	14.3	613.8
B-3	Proposed Future Building Pad	624.7	n/a	n/a	5.5	619.2
B-4	Proposed Future Building Pad	626.4	7.2	619.2	9.0	617.4
B-5	Proposed Future Building Pad	621.7	n/a	n/a	6.7	615.0
B-6	Proposed Future Building Pad	627.4	6.5	620.9	8.8	618.6

Brief Soil Description

- B-1 Light brown and orange clayey silty SAND (SC-SM)
- B-2 Brown and orange clayey silty SAND (SC-SM)
- B-3 Light brown and orange clayey silty SAND (SC-SM)
- B-4 Orange silty CLAY (CH) with some sand
- B-5 Orange silty SAND (SM)
- B-6 Brown and orange clayey silty SAND (SC-SM)

NOTE: THE ABOVE INFORMATION TAKEN FROM REPORT OF AUGER PROBE EXPLORATION PROVIDED BY SUMMIT DESIGN & ENGINEERING SERVICES, DATED: 4/24/2015.



CB 1	T/C = 624.90	INV. OUT = 622.00
JB 2	RIM = 626.10	INV. IN = 621.48
	INV. OUT = 621.36	
CB 3	T/C = 625.80	INV. OUT = 623.00
JB 4	RIM = 626.30	INV. IN = 623.00
	INV. OUT = 622.90	
FES 5	INV. OUT = 620.00	

TOTAL SITE AREA
64,469 SF (1.48 AC)

TOTAL SITE DISTURBED AREA
55,798 SF (1.28 AC)

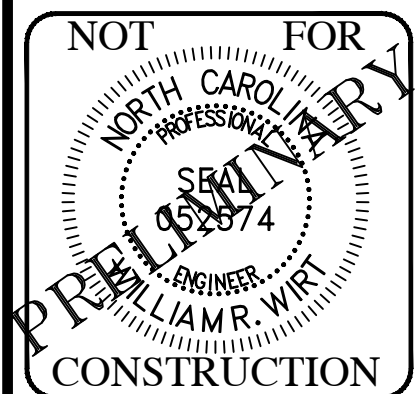


Know what's below.
Call before you dig.

DATE	BY	REVISIONS
7-21-2022	OS	
5-25-2022	OS	
4-22-2022	OS	
2-14-2022	OS	
1-2-2022	OS	

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05-16-2021



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www.summitde.net

SITE PLANS FOR
TRYON INVESTMENTS PH III
840 MEADOWLAND DRIVE
HILLSBOROUGH, NC 27278

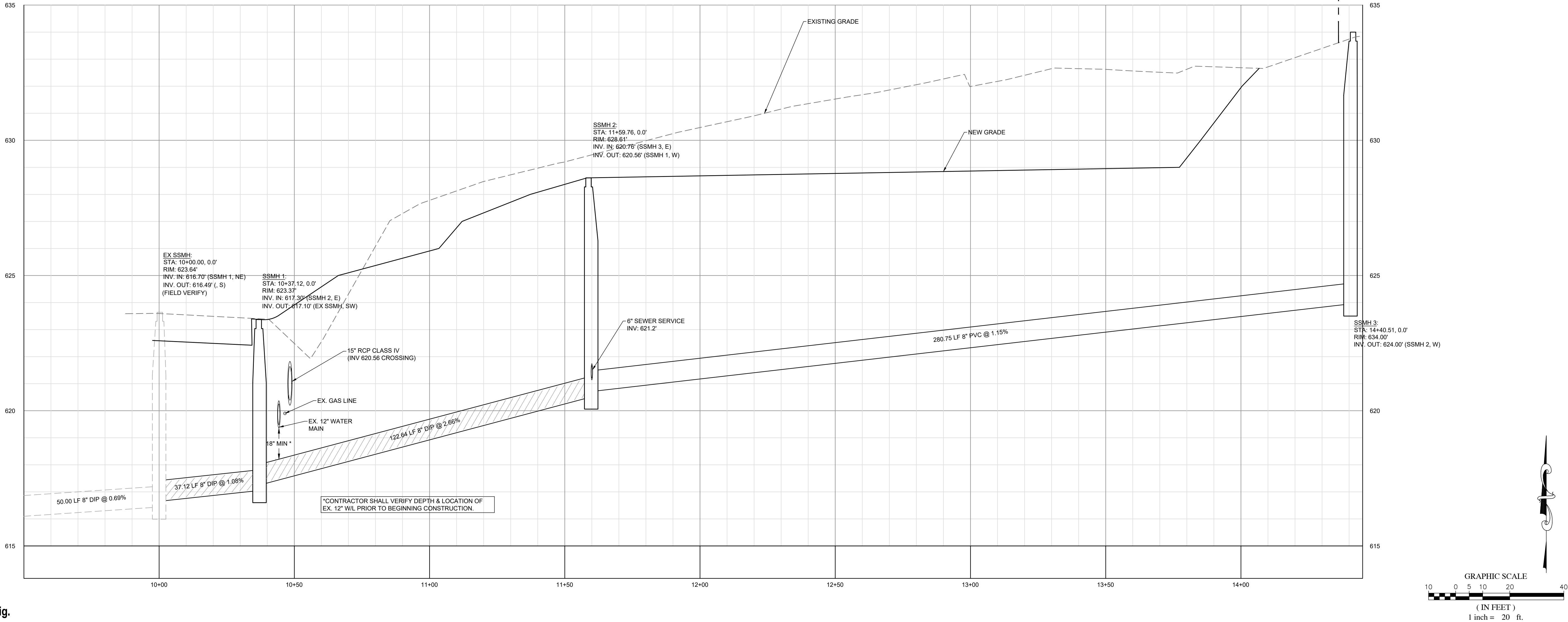
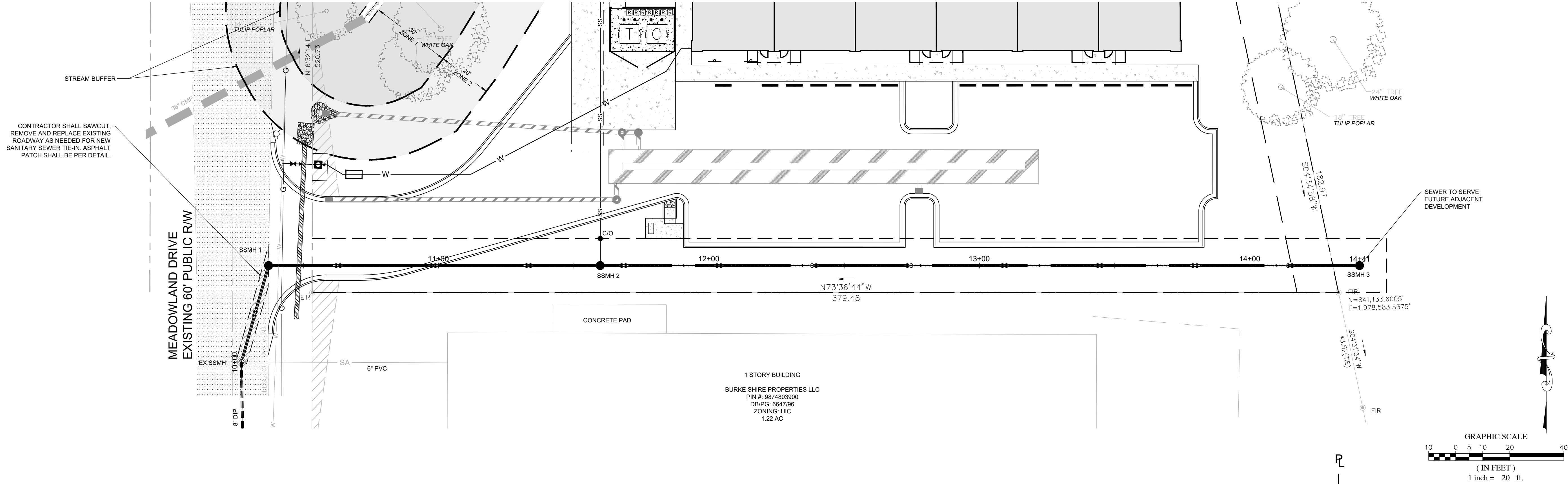
GRADING & STORM DRAINAGE PLAN

PROJECT NO.
17-0531

DRAWING NAME:
17-0531_G.dwg

SHEET NO.
C-5

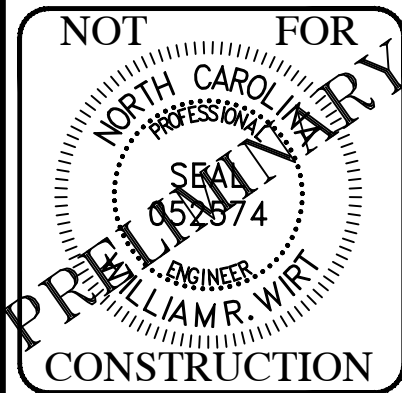
PROJECT NO.
17-0531
DRAWING NAME:
17-0531_LI.dwg
SHEET NO.
C-6



Know what's below.
Call before you dig.

NO.	DATE	BY
7		
6	7-21-2022	GS
5	5-25-2022	GS
4	4-22-2022	GS
3	2-14-2022	GS
2	1-23-2021	GS
1		

REVISIONS	DATE	BY
7		
6		
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2		
1		

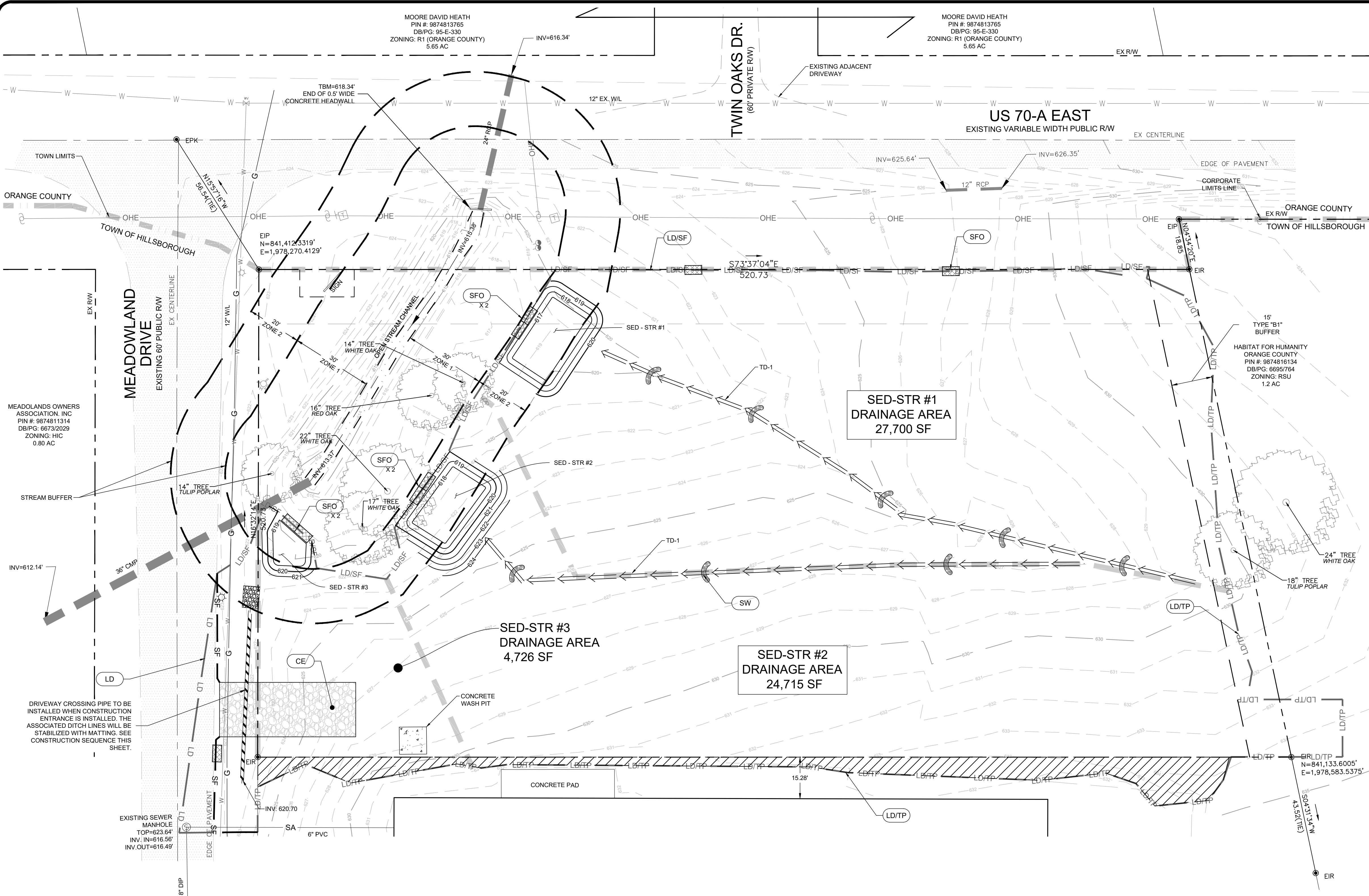


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TRYON INVESTMENTS PH III
640 MEADOWLAND DRIVE
HILLSBOROUGH, NC 27278

SANITARY SEWER OUTFALL 'A'
PLAN & PROFILE

PROJECT NO. 17-0531
DRAWING NAME: 17-0531_PP SS.dwg
SHEET NO. C-7



EROSION CONTROL LEGEND:

EXIST / PROPOSED

IP

IP

SFO

TCD

SW

CE

LD

LD/TP

SF

LD/SF

CURB INLET

DROP INLET

JUNCTION BOX

FLARED END SECTION (FES)

CATCH BASIN INLET PROTECTION

ROCK PIPE INLET PROTECTION

SILT FENCE OUTLET

TEMPORARY CHECK DAM

STRAW WATTLES

CONSTRUCTION ENTRANCE / EXIT

EXISTING STORM PIPE

PROPOSED STORM PIPE

LIMITS OF DISTURBANCE

LIMITS OF DISTURBANCE & TREE PROTECTION FENCE

SILT FENCE

LIMITS OF DISTURBANCE & SILT FENCE

DIVERSION DITCH

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

RIGHT OF WAY LINE

WOODS LINE

NOTE: "WOODS LINE" IS FOR ILLUSTRATIVE PURPOSES ONLY AND CLARITY OF THE PLANS. REFER TO THE "LIMITS OF DISTURBANCE" LINE FOR ACTUAL CLEARING LIMITS.

- CONSTRUCTION SEQUENCE:
- OBTAIN APPROVED SET OF CONSTRUCTION DRAWINGS, AN EROSION AND SEDIMENT CONTROL (EASC) PERMIT, A TOWN OF HILLSBOROUGH ZONING COMPLIANCE PERMIT, AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED AND A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED THROUGH THE TOWN OF HILLSBOROUGH PLANNING DEPARTMENT BEFORE ANY LAND DISTURBING ACTIVITIES OCCUR. KEEP A COPY ON-SITE THROUGHOUT CONSTRUCTION. CONTACT EROSION CONTROL OFFICER AT (919) 245-2584 A MINIMUM OF 48 HOURS PRIOR TO INITIATING LAND DISTURBING ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR NPDES REPORTING THROUGHOUT CONSTRUCTION. SEE SELF-INSPECTION PROGRAM NOTES THIS SHEET. CONTACT TOM KING OF THE TOWN OF HILLSBOROUGH AT (919) 296-9475 FOR A PRE-CONSTRUCTION MEETING PRIOR TO ANY LAND DISTURBING AND CONSTRUCTION ACTIVITIES.
 - INSTALL TEMPORARY CONSTRUCTION ENTRANCE/EXIT AND MAINTAIN PER THE NOTES ON THIS SHEET AND IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL GUIDELINES. PROPOSED PIPE AT THE CONSTRUCTION ENTRANCE TO BE INSTALLED WHEN CONSTRUCTION ENTRANCE IS INSTALLED. THE ASSOCIATED DITCH LINES WILL BE STABILIZED WITH MATTING IMMEDIATELY AFTER CONSTRUCTION. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE PROPERTY AT THIS LOCATION.
 - CLEAR & GRADE ONLY THE WIDTH NECESSARY FOR EQUIPMENT TRAVEL (10-12') TO INSTALL THE EROSION CONTROL DEVICES AS SHOWN ON THIS PLAN. INSTALL SILT FENCING TREE PROTECTION FENCING AND ALL SILT FENCE OUTLETS AS SHOWN, AND PROVIDE SUPPLEMENTAL OUTLETS AS NEEDED IN LOCATIONS WHERE FIELD CONDITIONS INDICATE AREAS WHERE SITE RUNOFF WILL POOL. AFTER SILT/FREE PROTECTION FENCE INSTALLATION, CONTACT ORANGE COUNTY EROSION CONTROL OFFICER (919-245-2584), AND TOWN OF HILLSBOROUGH PLANNING DEPARTMENT AT (919) 296-9475 TO SCHEDULE INSPECTION. THESE INSPECTIONS MUST BE COMPLETED AND PASSED PRIOR TO PERFORMING ANY ADDITIONAL WORK.
 - INSTALL TEMPORARY SEDIMENT STORAGE BASINS SED-STR #1, SED-STR #2 & SED-STR #3 AS SHOWN ON THE PLAN. PRIOR TO CLEARING AND GRUBBING BEFORE CUT/FILL OPERATIONS BEGIN AND WILL SERVE AS THE PRIMARY PEAK FLOW ATTENUATOR UNTIL GRADING DICTATED THE INSTALLATION OF THE UGS SYSTEM SHOWN.
 - INSTALL TEMPORARY DIVERSIONS DITCHES AS SHOWN AND ASSOCIATED BERMS WITH MATTING AND STRAW WATTLES AS SHOWN DOWN SLOPE PRIOR CONSTRUCTION ACTIVITIES TO CONVEY SEDIMENT LADEN RUNOFF AND DIRECT FLOW AS NEEDED TO PROMOTE POSITIVE DRAINAGE TO SEDIMENT STORAGE AS SHOWN ON PLANS.

- CONSTRUCTION ENTRANCE NOTES:
- CONSTRUCTION ENTRANCE SHALL BE 25' MINIMUM WIDTH AND 50' MINIMUM LENGTH AND 6" MINIMUM THICKNESS OF STONE (3"-4") COARSE AGGREGATE WITH GEOTEXTILE UNDERLINER. REFER TO THE LOCAL GOVERNMENT OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 3"-4" STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
 - WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE LOCAL GOVERNMENT OR STATE REQUIREMENTS.
 - MAINTAIN CONSTRUCTION ENTRANCE THROUGHOUT ALL PHASES OF CONSTRUCTION. WHEN SITE IS READY FOR FINAL INSTALLATION OF PAVEMENT SECTION AS NOTED ON THE APPROVED PLANS, CONTACT THE EROSION CONTROL INSPECTOR FOR APPROVAL PRIOR TO REMOVING THE CONSTRUCTION ENTRANCE.

TOTAL SITE AREA
64,469 SF (1.48 AC)

TOTAL DISTURBED AREA
55,798 SF (1.28 AC)

****ROADWAY TRACKING WILL NOT BE ALLOWED****
SHOULD ROADWAY TRACKING OCCUR,
IMMEDIATE CLEAN-UP WILL BE REQUIRED



EROSION CONTROL & MAINTENANCE PLAN NOTES:

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS AND DETAILS OF THE LATEST EDITION OF THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL. THE APPLICANT HAS THE RESPONSIBILITY TO CONTACT, VERIFY AND ADHERE TO ALL NCDEQ SPECIFICATIONS AND CHECKLIST REQUIREMENTS OF THE STATE, WHICH CAN BE REVIEWED AT THE NCDEQ WEBSITE. [HTTPS://DEQ.NC.GOV/ABOUT/DIVISIONS/ENERGY-MINERAL-LAND-RESOURCES/](https://deq.nc.gov/about/divisions/energy-mineral-land-resources/) EROSION-SEDIMENT-CONTROL-FORMS
- RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
- PERMANENTLY STABILIZE ALL SURFACE AREAS WITHIN AND ADJACENT TO THIS SITE THAT ARE DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREAS IS REQUIRED BEFORE TERMINATION OF MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
- CONTRACTOR SHALL INSPECT SEDIMENT CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGED OF SEDIMENT FROM THE CONSTRUCTION SITE.
- INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE EROSION CONTROL INSPECTOR. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
- CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
- ALL AREAS NOT SHOWN AS PAVEMENT OR BUILDING UNDER FINAL CONSTRUCTION SHALL BE TEMPORARILY AND PERMANENTLY SEEDED AS REQUIRED.
- ALL GRASS SLOPES WHICH EXCEED 3:1 (H:V) AND/OR ARE ADJACENT TO EXISTING JURISDICTIONAL WETLANDS SHALL UTILIZE NORTH AMERICAN GREEN (NAG) CONSTRUCTION PRODUCTS TURF REINFORCEMENT MATS SC150 OR APPROVED EQUAL UNLESS OTHERWISE SPECIFIED ON PLANS. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

SEDIMENT STORAGE SCHEDULE-PH 1							
DEVICE	DRAINAGE AREA		REQUIRED VOL.		PROVIDED VOL.		VOL. CHECK
SED-STR 1	27,700	SF	0.64	AC	1,145	CF	1,180 CF OK
SED-STR 2	24,715	SF	0.57	AC	1,021	CF	1,094 CF OK
SED-STR 3	4,726	SF	0.11	AC	195	CF	209 CF OK

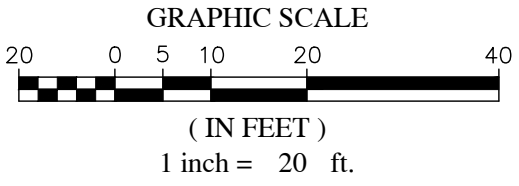
- NOTE:
- SEE EXCAVATED STORAGE DETAILS AND MAINTENANCE REQUIREMENTS ON SHEET, D-7
 - THIS PROJECT IS IN THE NEUSE RIVER BASIN AND HAS BEEN DESIGNED TO MEET THE REQUIRED 25 YEARS OF STORM DESIGN.

NOTIFICATION OF LAND RESOURCES SEDIMENT AND EROSION CONTROL SELF-INSPECTION PROGRAM:

THE SELF-INSPECTION PROGRAM IS A REQUIREMENT OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES.

"THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF CONSTRUCTION TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TOOK EFFECT OCTOBER 1, 2010." NCDEQ DIVISION OF ENERGY, MINERAL AND LAND RESOURCES

THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS MUST BE CONDUCTED AFTER EACH PHASE OF THE PROJECT AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ACCORDANCE WITH NCGS 113A-54.1 AND 15A NCAC4B.0131. THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FROM [HTTPS://DEQ.NC.GOV/ABOUT/DIVISIONS/ENERGY-MINERAL-LAND-RESOURCES/EROSION-SEDIMENT-CONTROL-FORMS](https://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control-forms). IF YOU HAVE ANY QUESTIONS OR CANNOT ACCESS THE FORM, PLEASE CONTACT THE NCDEQ OFFICE AT (919)91-4200.



7

6

5

4

3

2

1

DATE

7-21-2022

7-21-2022

5-25-2022

4-22-2022

2-14-2022

1-1-2022

BY

OS

OS

OS

OS

OS

OS

REVISIONS

DATE

BY

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DRAWN BY

GS@SUMMITDESIGN.COM

FIRST ISSUE DATE

05-16-2021

NOT FOR CONSTRUCTION

NORTH CAROLINA

SEAL

17-0531

17-0531-EC

17-0531-EC

SITE PLANS FOR

TRYON INVESTMENTS PH III

640 MEADOWLAND DRIVE

HILLSBOROUGH, NC 27278

EROSION CONTROL PLAN PH I

PROJECT NO.

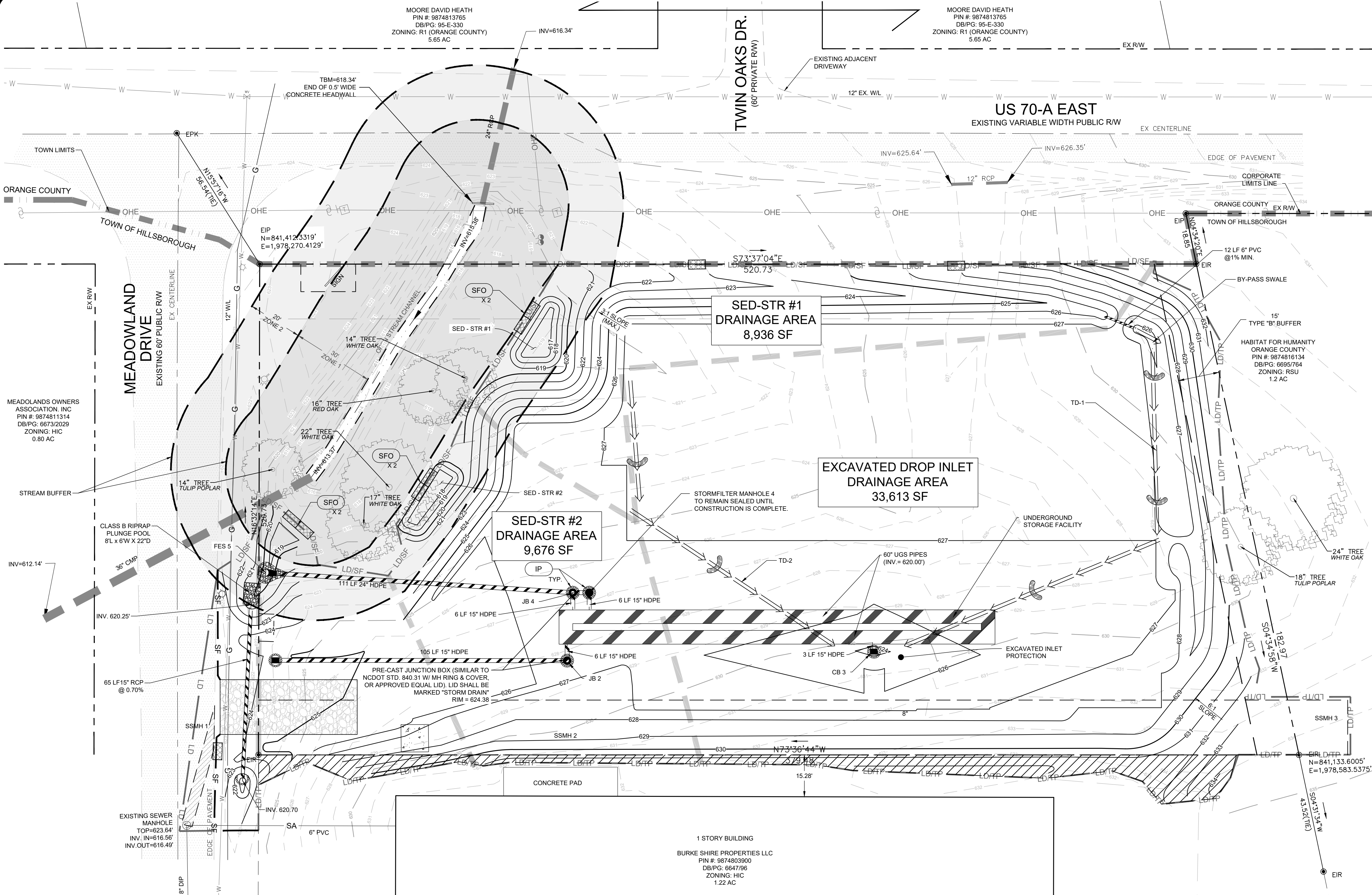
17-0531

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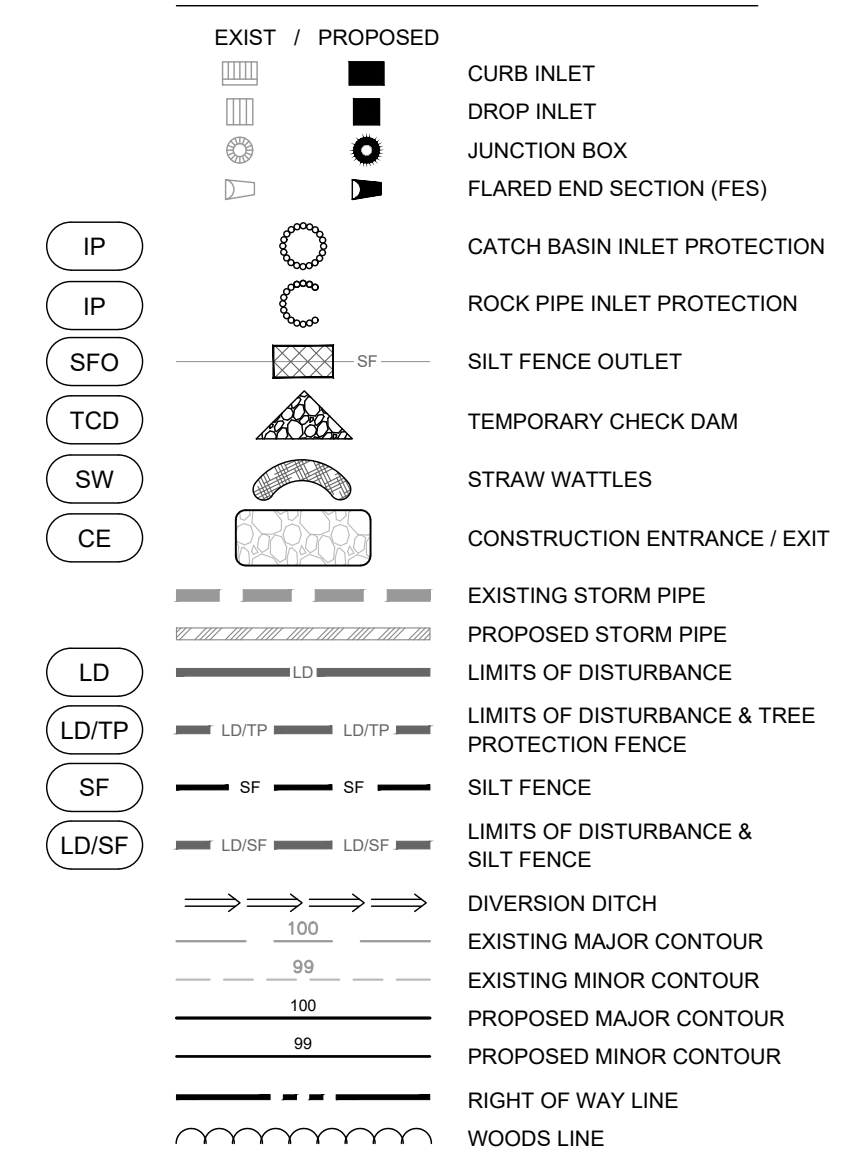
17-0531-EC.dwg

SHEET NO.

C-8



EROSION CONTROL LEGEND:



NOTE: "WOODS LINE" IS FOR ILLUSTRATIVE PURPOSES ONLY AND CLARITY OF THE PLANS. REFER TO THE "LIMITS OF DISTURBANCE" LINE FOR ACTUAL CLEARING LIMITS.

CONSTRUCTION SEQUENCE:

- BEGIN CUT/FILL ACTIVITIES TO OBTAIN FINISHED GRADES AS SHOWN ON THE PLANS.
- RELOCATE/RE-ESTABLISH TEMPORARY DIVERSIONS AT THE END OF EACH WORK-DAY TO NEW CONSTRUCTED TOP OF SLOPE SUCH THAT DRAINAGE AREA TO BASIN IS MAXIMIZED AND UPLAND AREAS CAPTURED BY SILT FENCE ARE MINIMIZED.
- THE UNDERGROUND STORAGE SYSTEM SHOWN SHOULD BE INSTALLED AS GRADING OPERATIONS DICTATE. ONCE UGS AND RELEVANT PIPES & STRUCTURES ARE INSTALLED, INSTALL EXCAVATED INLET PROTECTION AND DIVERSION DITCHES AS SHOWN. UGS WILL SERVE AS ADDITIONAL EROSION CONTROL DEVICES DURING PHASE II & PHASE III.

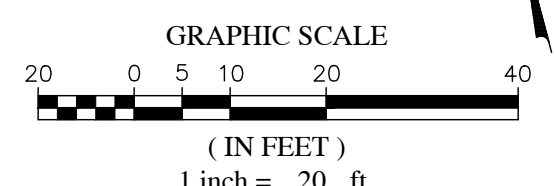
TOTAL SITE AREA
64,469 SF (1.48 AC)

TOTAL DISTURBED AREA
55,798 SF (1.28 AC)

SEDIMENT STORAGE SCHEDULE-PH 2								
DEVICE	DRAINAGE AREA		REQUIRED VOL.		PROVIDED VOL.		VOL. CHECK	
SED-STR 1	8,936	SF	0.21	AC	369	CF	457	CF OK
SED-STR 2	9,676	SF	0.22	AC	400	CF	428	CF OK
EXCAVATED INLET	33,613	SF	0.77	AC	1,389	CF	1,584	CF OK

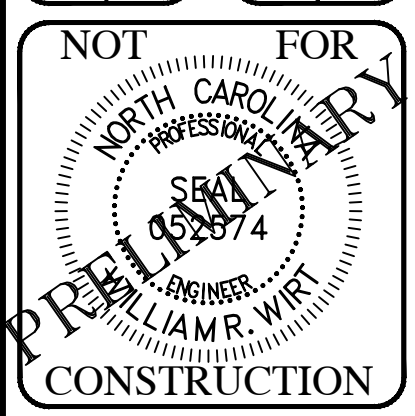
NOTE:
1. SEE EXCAVATED STORAGE DETAILS AND MAINTENANCE REQUIREMENTS ON SHEET, D-7.
2. THIS PROJECT IS IN THE NEUSE RIVER BASIN AND HAS BEEN DESIGNED TO MEET THE REQUIRED 25 YEARS OF STORM DESIGN.

****ROADWAY TRACKING WILL NOT BE ALLOWED****
SHOULD ROADWAY TRACKING OCCUR, IMMEDIATE CLEAN-UP WILL BE REQUIRED



NO.	DATE	BY
7	7-21-2022	OS
6	7-21-2022	OS
5	7-21-2022	OS
4	7-21-2022	OS
3	7-21-2022	OS
2	7-21-2022	OS
1	7-21-2022	OS

REVISIONS	DATE
7	7-21-2022
6	7-21-2022
5	7-21-2022
4	7-21-2022
3	7-21-2022
2	7-21-2022
1	7-21-2022



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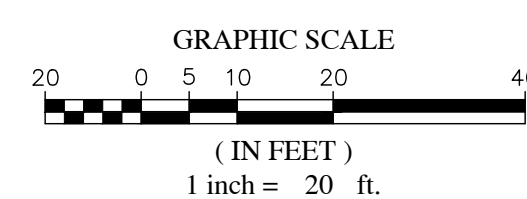
SITE PLANS FOR
TRYON INVESTMENTS PH III
640 MEADOWLAND DRIVE
HILLSBOROUGH, NC 27278

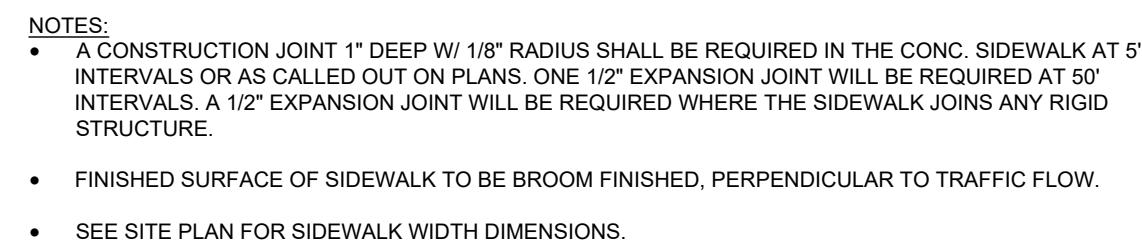
EROSION CONTROL PLAN PH II

PROJECT NO.
17-0531

DRAWING NAME:
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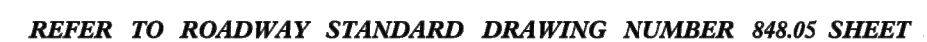
SHEET NO.
C-9





NOTE:

1. ACTUAL GATE TO BE FULLY OPAQUE. SLATS SHOWN WITH GAPS TO SHOW BRACING DETAIL.
2. THE DUMPSTER ENCLOSURE AND ALL APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL TOWN OF HILLSBOROUGH AND ORANGE COUNTY SOLID WASTE DEPARTMENT STANDARDS AND SPECIFICATIONS.
3. SEE SITE PLAN FOR PEDESTRIAN ACCESS WITHIN ENCLOSURE (4' MINIMUM WIDTH).

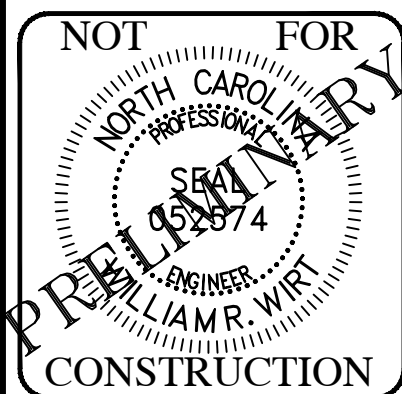



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ALTERS THIS DOCUMENT IS REQUIRED
TO AFFIX HIS OR HER SEAL AND THE
ALTERNATION "ALTERED BY" FOLLOWED BY HIS
OR HER SIGNATURE AND SPECIFIC
DESCRIPTION OF THE ALTERATIONS.

PROJECT ENGINEER/ARCHITECT TAS TIM.SMITH@SUMMITDE.COM	PROJECT MANAGER WWW.WILLIAM.WIRT@SUMMITDE.COM)
DRAWN BY GSG (GOVINDA.SEDHAY@SUMMITDE.COM)	
FIRST ISSUE DATE 08-16-2021	



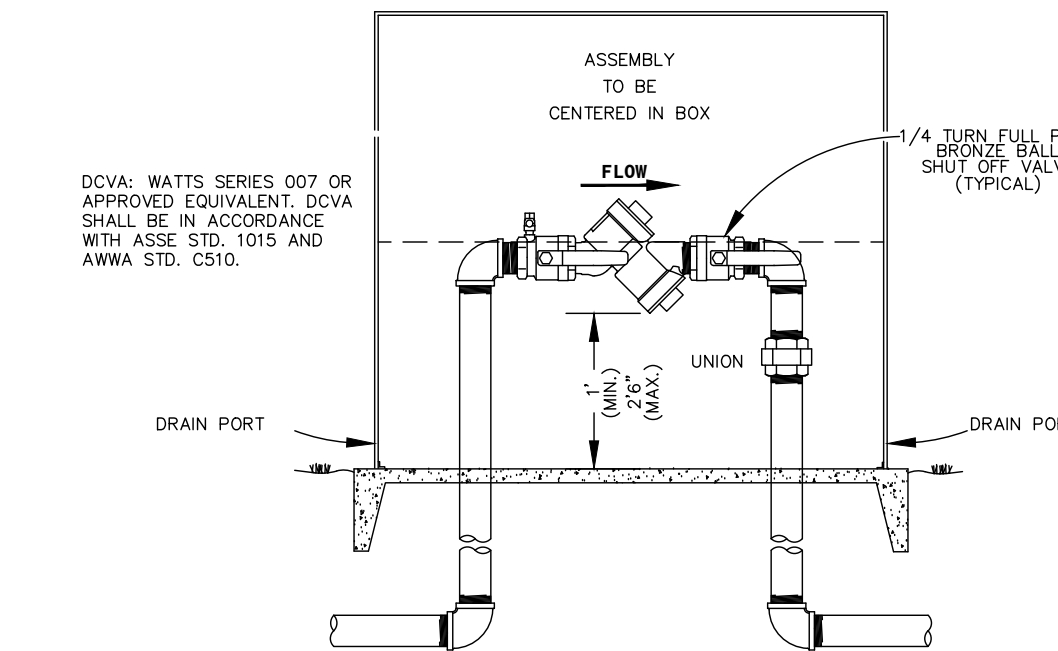
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Fax: (919) 732-4676
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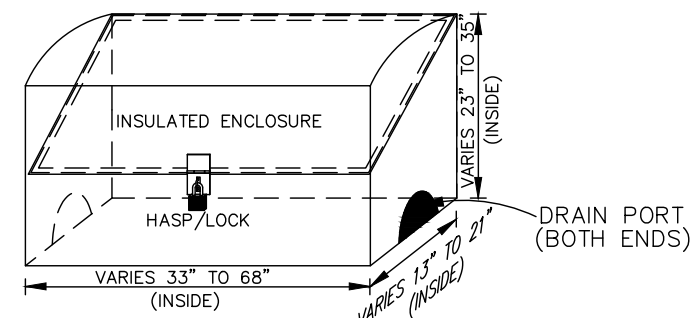
SITE PLANS FOR
TRYON INVESTMENTS PH III
640 MEADOWLAND DRIVE
HILLSBOROUGH, NC 27278

SITE DETAILS

PROJECT NO.
17-0531
DRAWING NAME:
17-0531_D.dwg
SHEET NO.
D-1

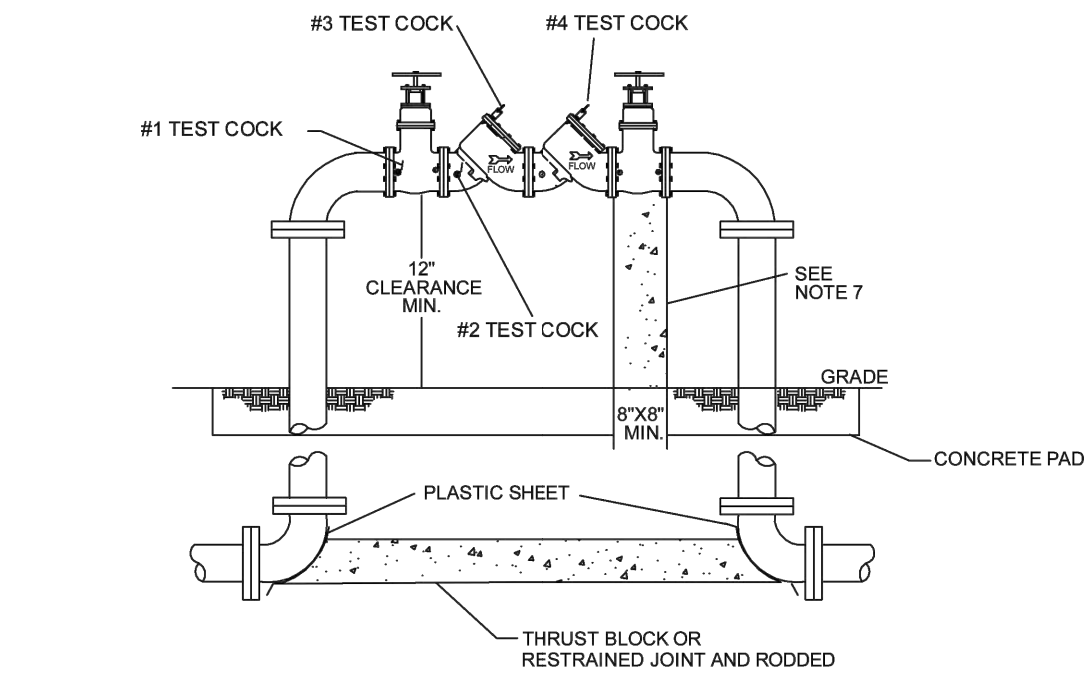


REFER TO DETAIL W-04 FOR ACTUAL BACKFLOW DEVICE TO BE INSTALLED.



OUTDOOR FREEZE PROTECTION INSTALLATION

ENCLOSURE: HOTBOX® HB-75 ~ HB-3E OR APPROVED EQUIVALENT. ENCLOSURE SHALL MEET ASSE STD. 1060.



- NOTES:
1. SHUT OFF VALVES, CHECK VALVES, AND TEST COCKS SHALL BE STANDARD TO THE APPROVED BACKFLOW ASSEMBLY.
 2. ALL LARGE (3-10\"/>

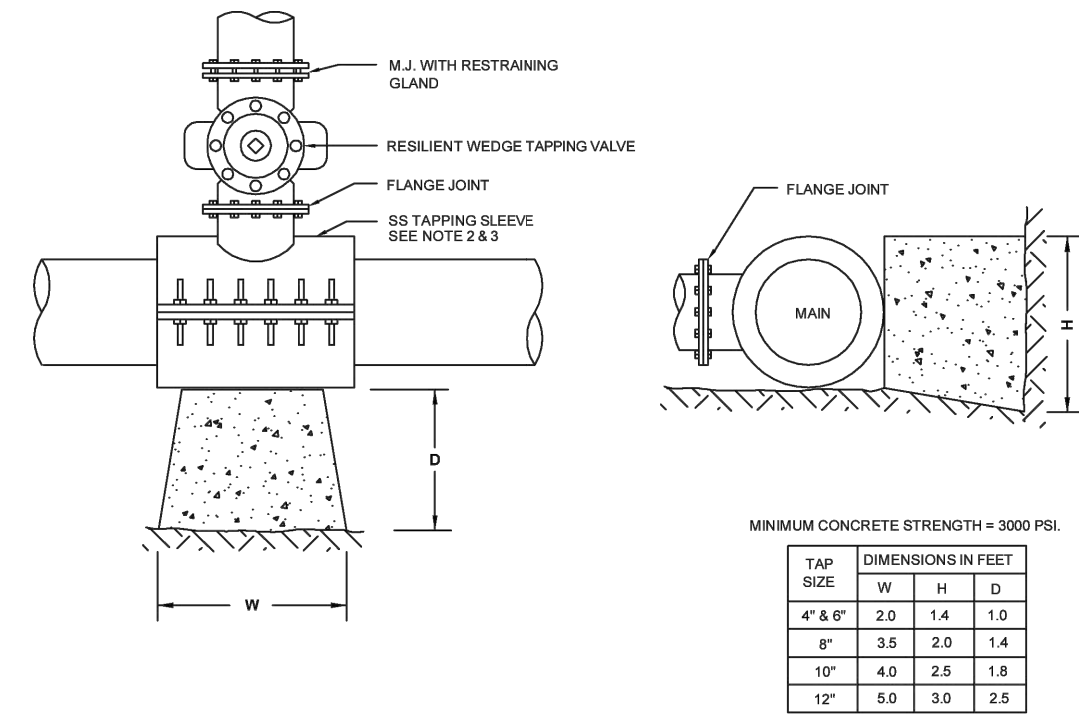
rev	description	app'd	date
		KPK	
		KPK	



PO Box 429
101 East Orange Street
Hillsborough, North Carolina 27278
919.732.1270

DOUBLE CHECK VALVE ASSEMBLY (DCVA)

scale | NTS drawing no. | **W-04**
date | JUNE 2012
approved | Kenneth P. Keel, P.E., Town Engineer



- NOTES:
1. TAPS ONTO EQUAL SIZED MAINS MUST BE CUT AND SLEEVED WITH A TEE AND MAIN LINE VALVE INSTALLED.
 2. BOLTS AND NUTS FOR TAPPING SLEEVE SHALL BE STAINLESS STEEL.
 3. ALL TAPS 4\"/>

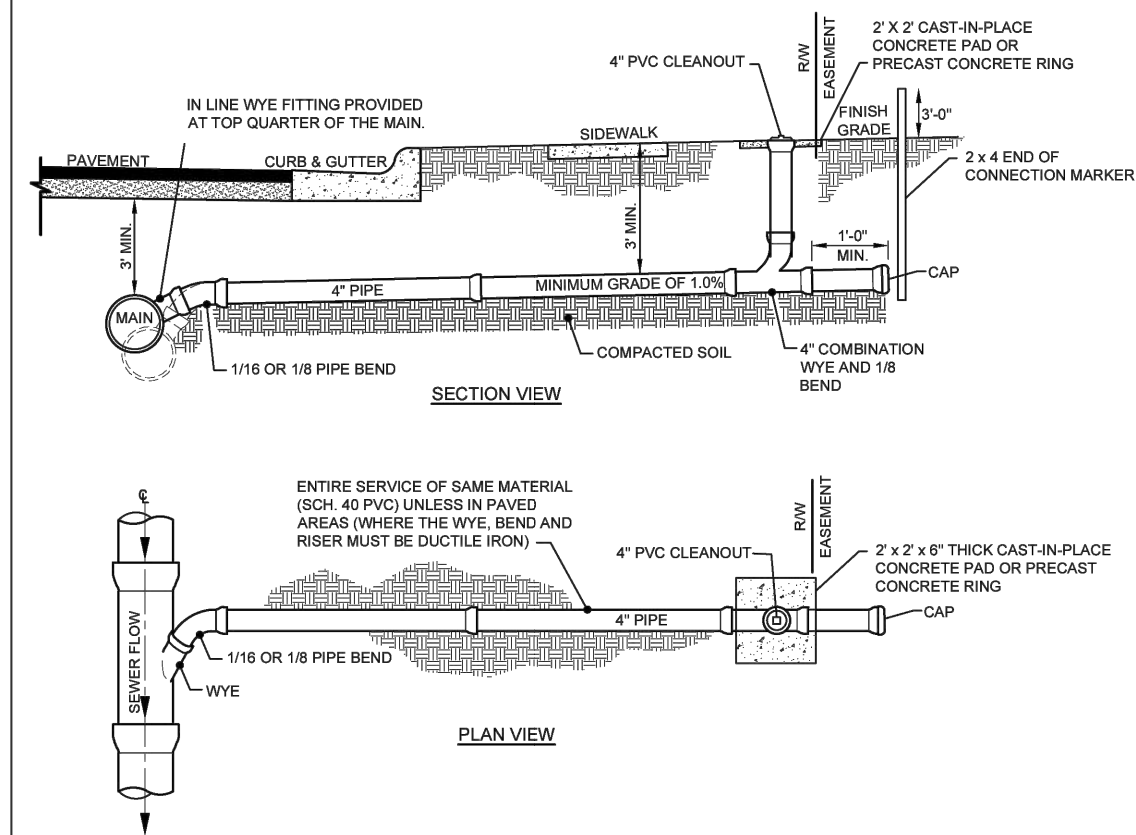
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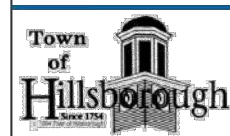
WATER MAIN TAPS

scale | NTS drawing no. | **W-05**
date | JUNE 2012
approved | Kenneth P. Keel, P.E., Town Engineer



- NOTES:
1. CLEANOUT SHALL BE PLACED AT RIGHT-OF-WAY OR EDGE OF EASEMENT
 2. DO NOT INSTALL CLEANOUT UNDER A FENCE
 3. CONNECTIONS TO 15\"/>

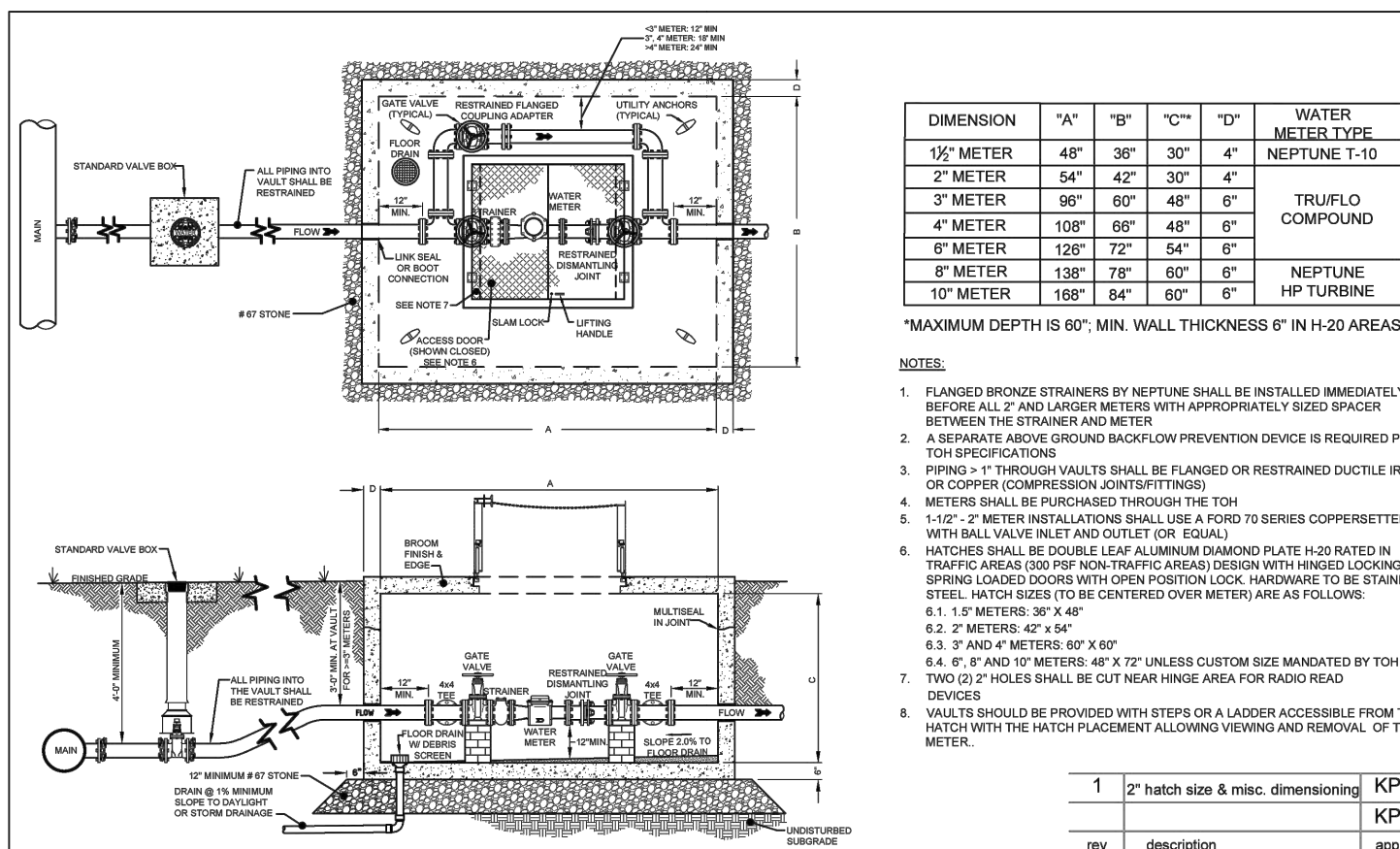
rev	description	app'd	date
1	Sch 40 service & PVC plug	KPK	11/10/17
		KPK	



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SEWER SERVICE AND CLEANOUT WITH COLLAR

scale | NTS drawing no. | **S-03**
date | JANUARY 2017
approved | Kenneth P. Keel, P.E., Town Engineer



- NOTES:
1. FLANGED BRONZE STRAINERS BY NEPTUNE SHALL BE INSTALLED IMMEDIATELY BEFORE ALL 2\"/>

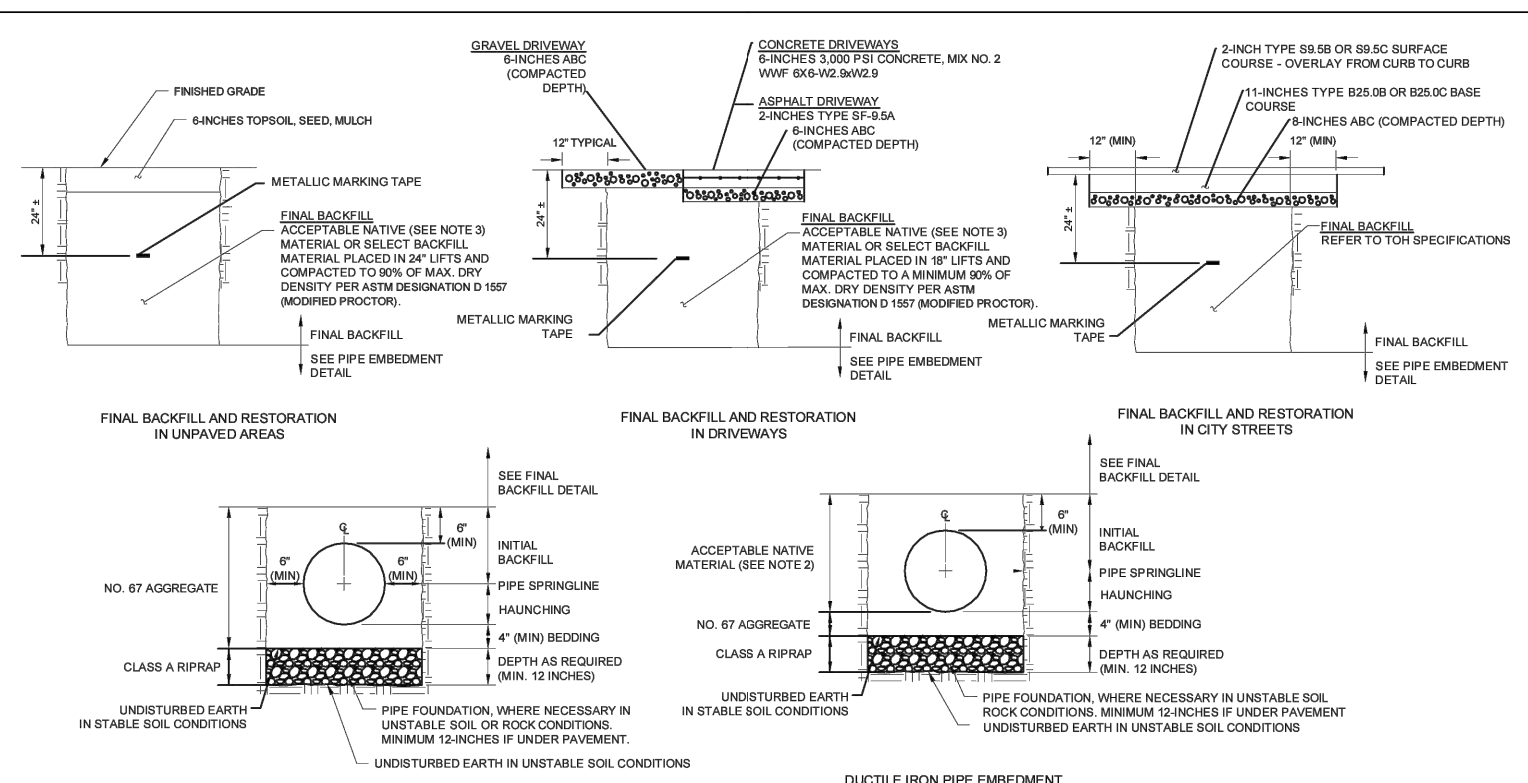
rev	description	app'd	date
1	2" hatch size & misc. dimensions	KPK	11/10/17
		KPK	



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COMMERCIAL WATER METER AND VAULT

scale | NTS drawing no. | **W-07**
date | JANUARY 2017
approved | Kenneth P. Keel, P.E., Town Engineer



- NOTES:
1. REFERENCE TOH CODE SECTION 7-04 FOR STREET BASE & PAVEMENTS. MATERIALS AND TESTING STANDARDS REFERENCES (NOT STANDARDS)
 2. WATER MATERIAL SHALL NOT CONTAIN ANY ROCKS GREATER THAN 2 INCHES AND FREE OF VEGETATION AND DEBRIS
 3. WATER MATERIAL SHALL NOT CONTAIN ANY ROCKS GREATER THAN 2 INCHES AND FREE OF VEGETATION AND DEBRIS

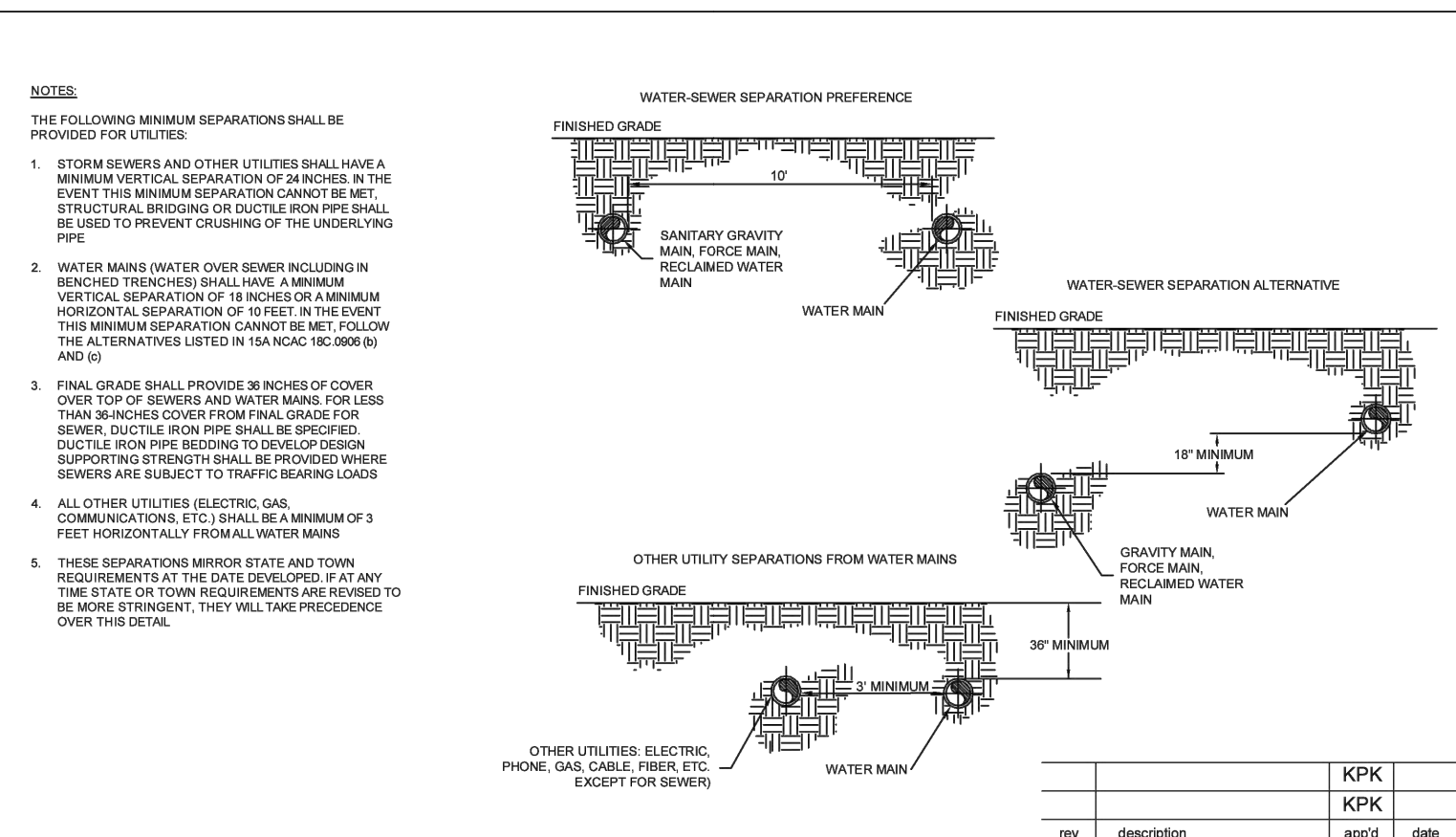
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		KPK	
		KPK	



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TRENCH DETAILS

scale | NTS drawing no. | **WS-03**
date | JUNE 2012
approved | Kenneth P. Keel, P.E., Town Engineer



- NOTES:
1. THE FOLLOWING MINIMUM SEPARATIONS SHALL BE PROVIDED FOR UTILITIES
 2. STORM SEWERS AND OTHER UTILITIES SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES. IN THE EVENT THIS MINIMUM SEPARATION CANNOT BE MET, STRUCTURAL BRIDGING OR DUCTILE IRON PIPE SHALL BE USED TO PREVENT CRUSHING OF THE UNDERLYING PIPE
 3. WATER MAINS (WATER OVER SEWER) INCLUDING IN BRANCHED TRENCHES SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES OR A MINIMUM HORIZONTAL SEPARATION OF 3 FEET. IN THE EVENT THIS MINIMUM SEPARATION CANNOT BE MET, FOLLOW THE ALTERNATIVES LISTED IN 15A NCDC (10-2004) AND 11
 4. ALL OTHER UTILITIES (ELECTRIC, GAS, COMMUNICATIONS, ETC.) SHALL BE A MINIMUM OF 3 FEET HORIZONTALLY FROM ALL WATER MAINS
 5. THESE SEPARATIONS MINIMUM STATE AND TOWN REQUIREMENTS AT THE DATE DEVELOPED. IF AT ANY TIME STATE OR TOWN REQUIREMENTS ARE REVISED TO BE MORE STRINGENT, THEY WILL TAKE PRECEDENCE OVER THE DETAIL.

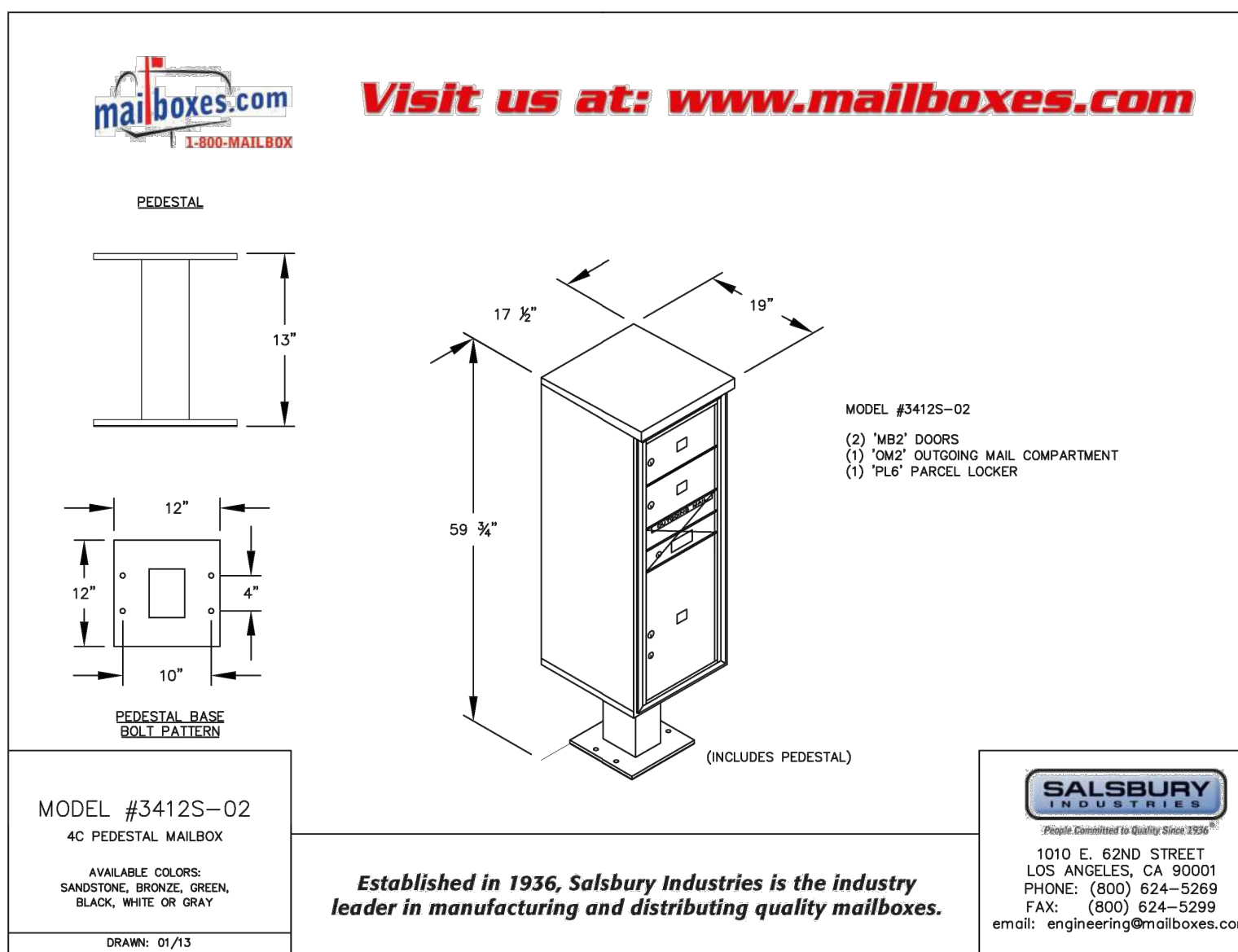
rev	description	app'd	date
		KPK	
		KPK	



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919.732.1270

UTILITY SEPARATION

scale | NTS drawing no. | **G-01**
date | JUNE 2012
approved | Kenneth P. Keel, P.E., Town Engineer



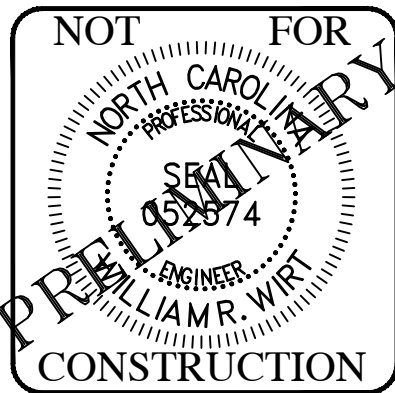
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SALSBURY INDUSTRIES
1010 E. 62ND STREET
LOS ANGELES, CA 90001
PHONE: (800) 624-5269
FAX: (800) 624-5299
email: engineering@mailboxes.com

DATE	REVISIONS	BY
7-21-2022	OS	
5-25-2022	OS	
4-22-2022	OS	
2-14-2022	OS	
1-23-2021	OS	

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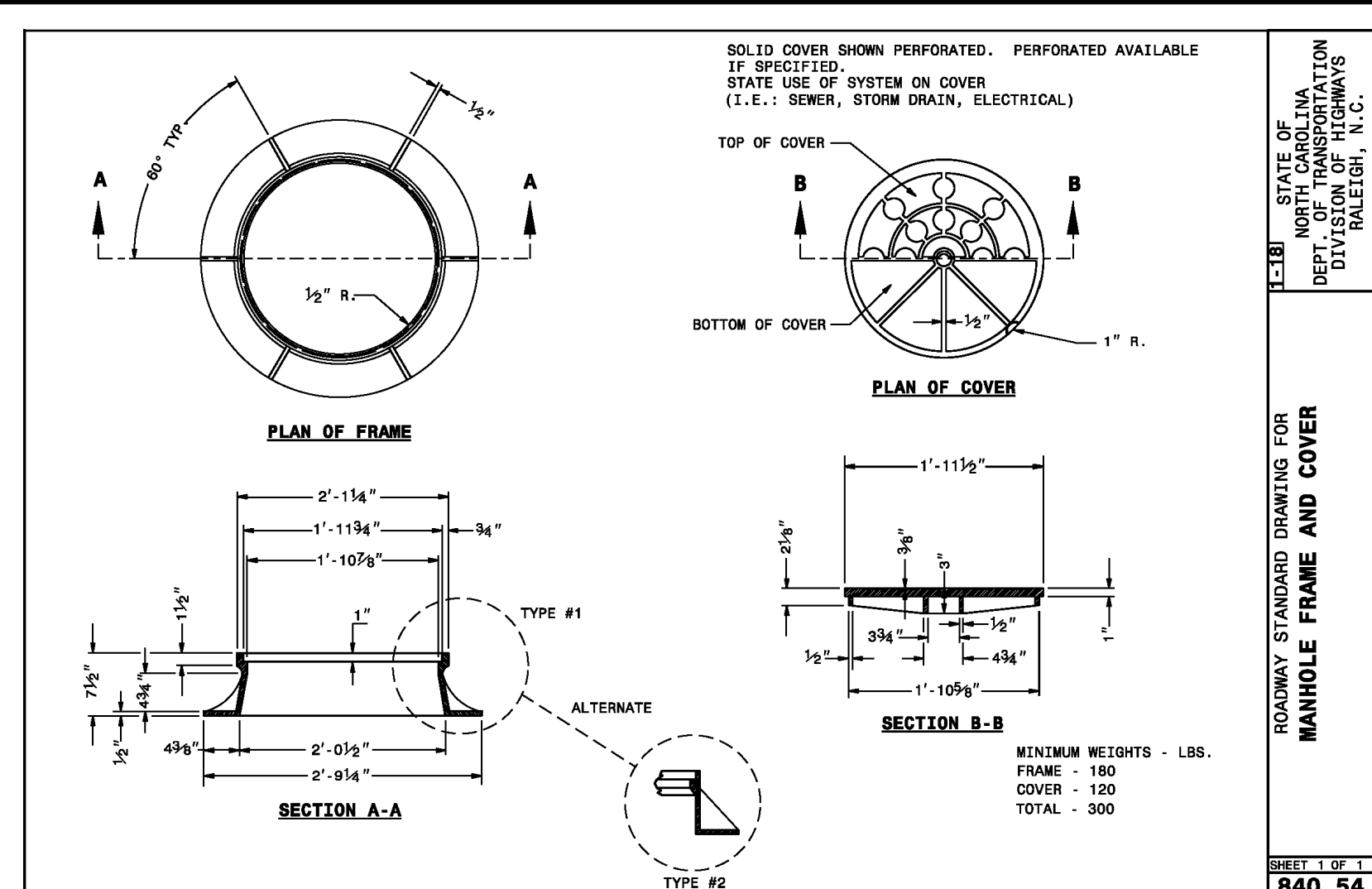
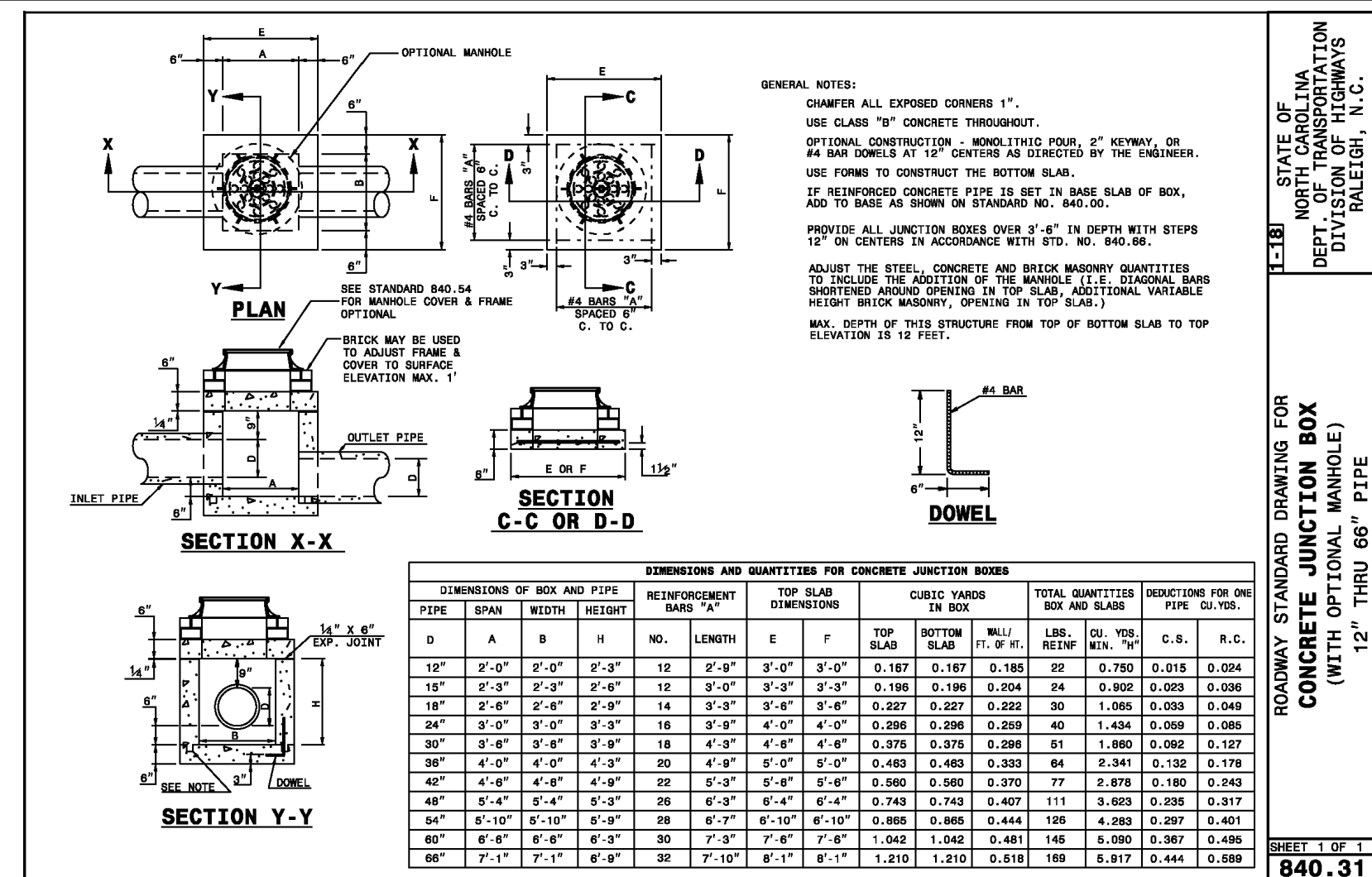
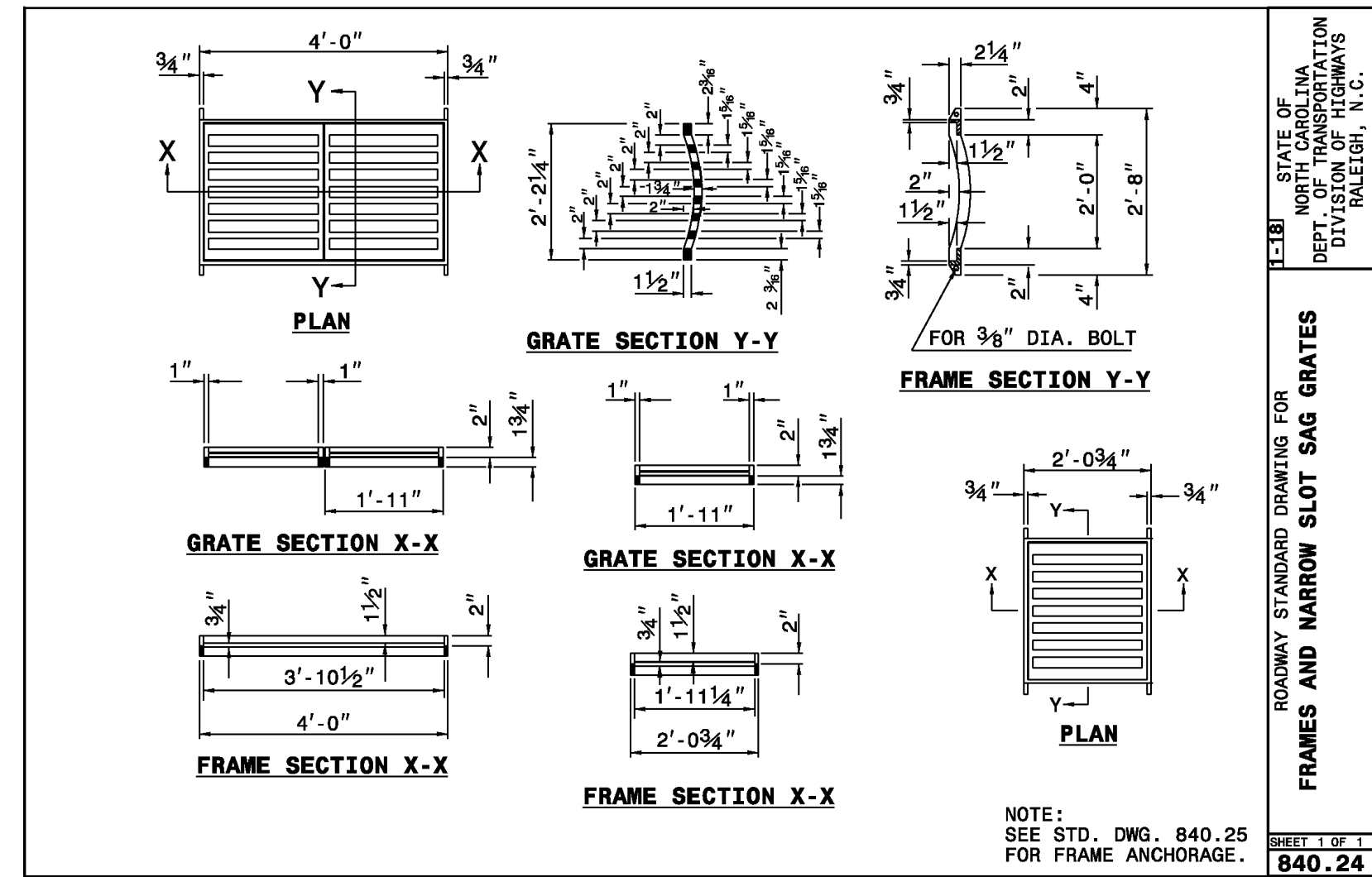
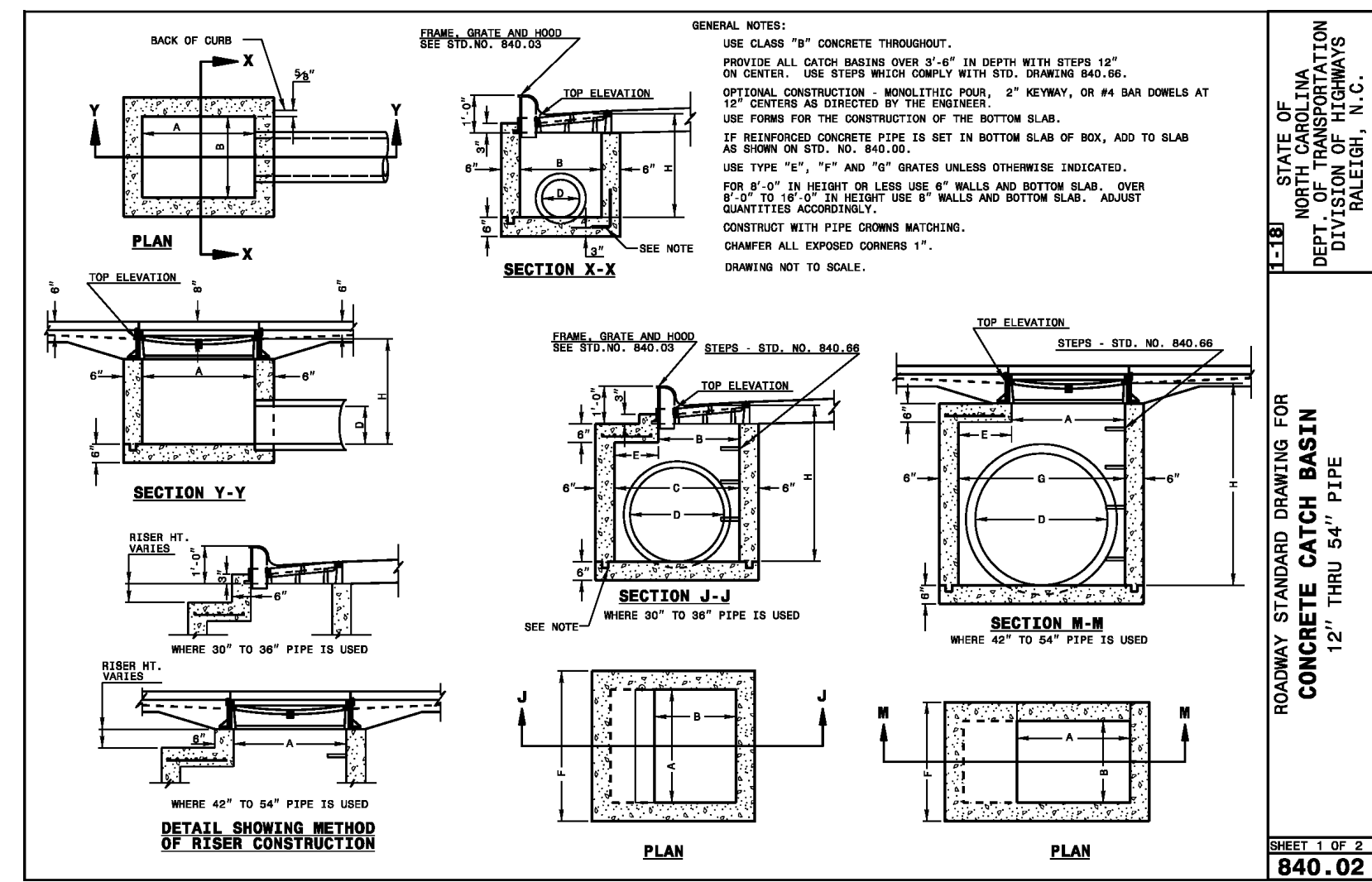
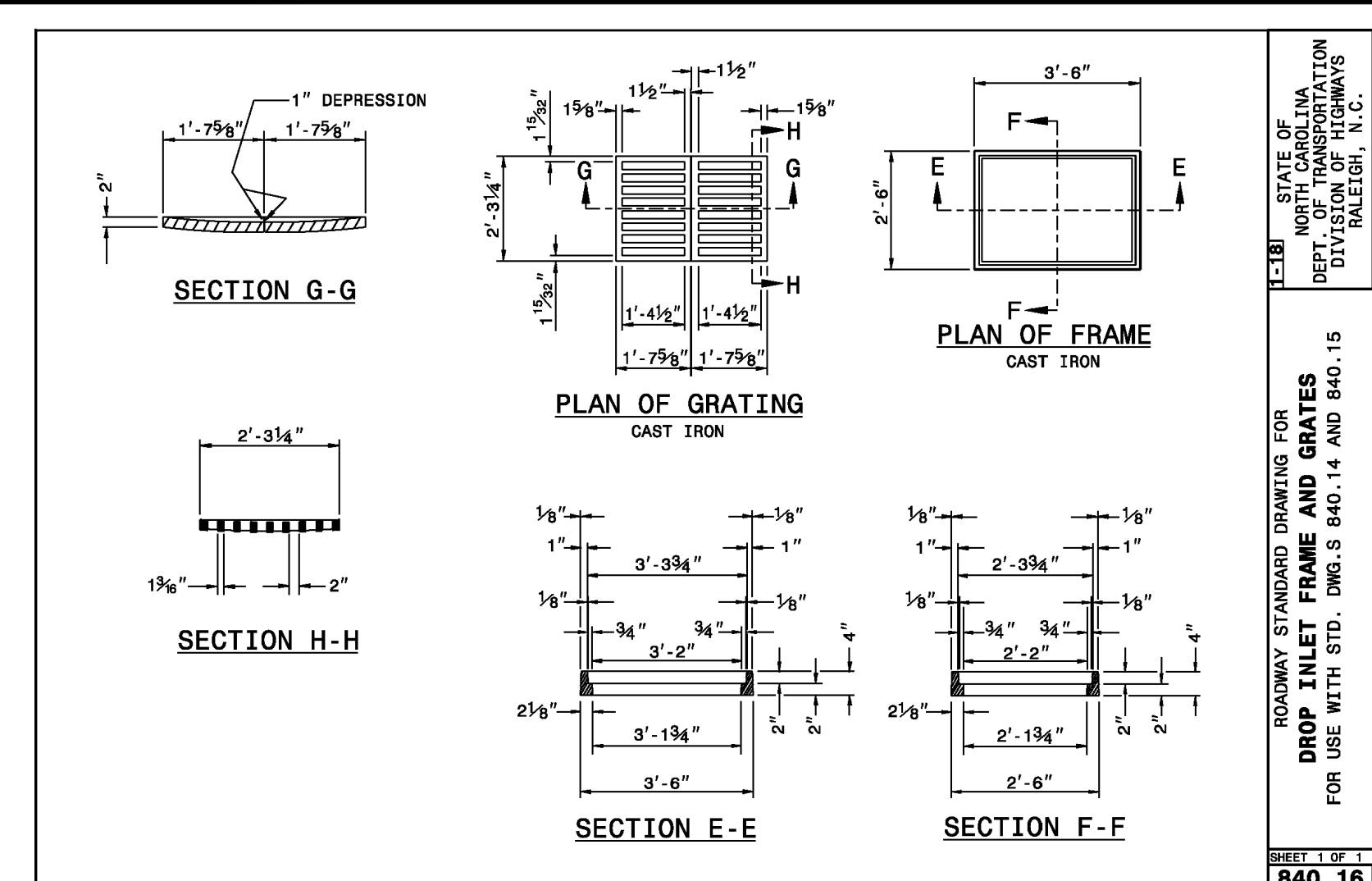
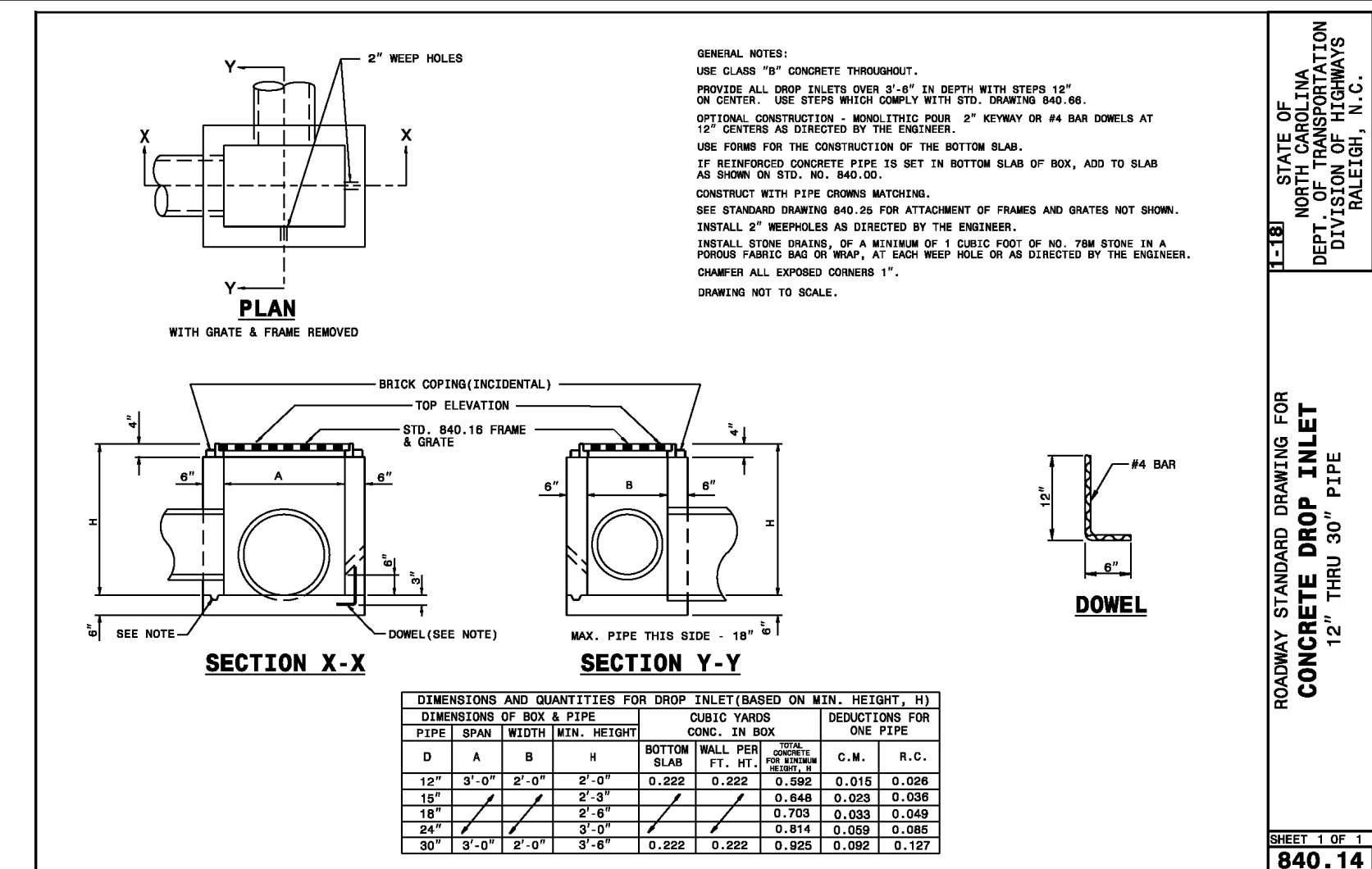
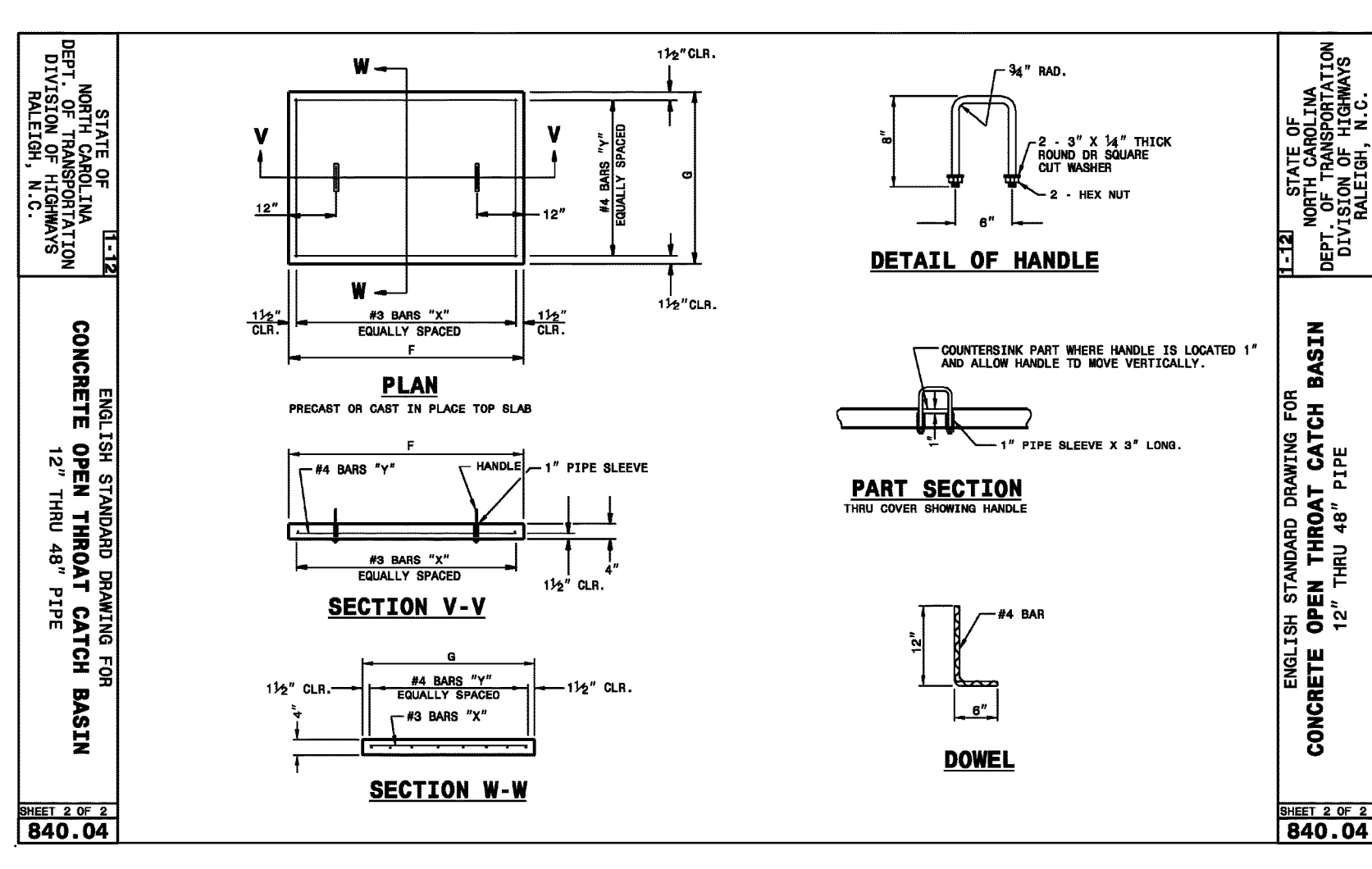
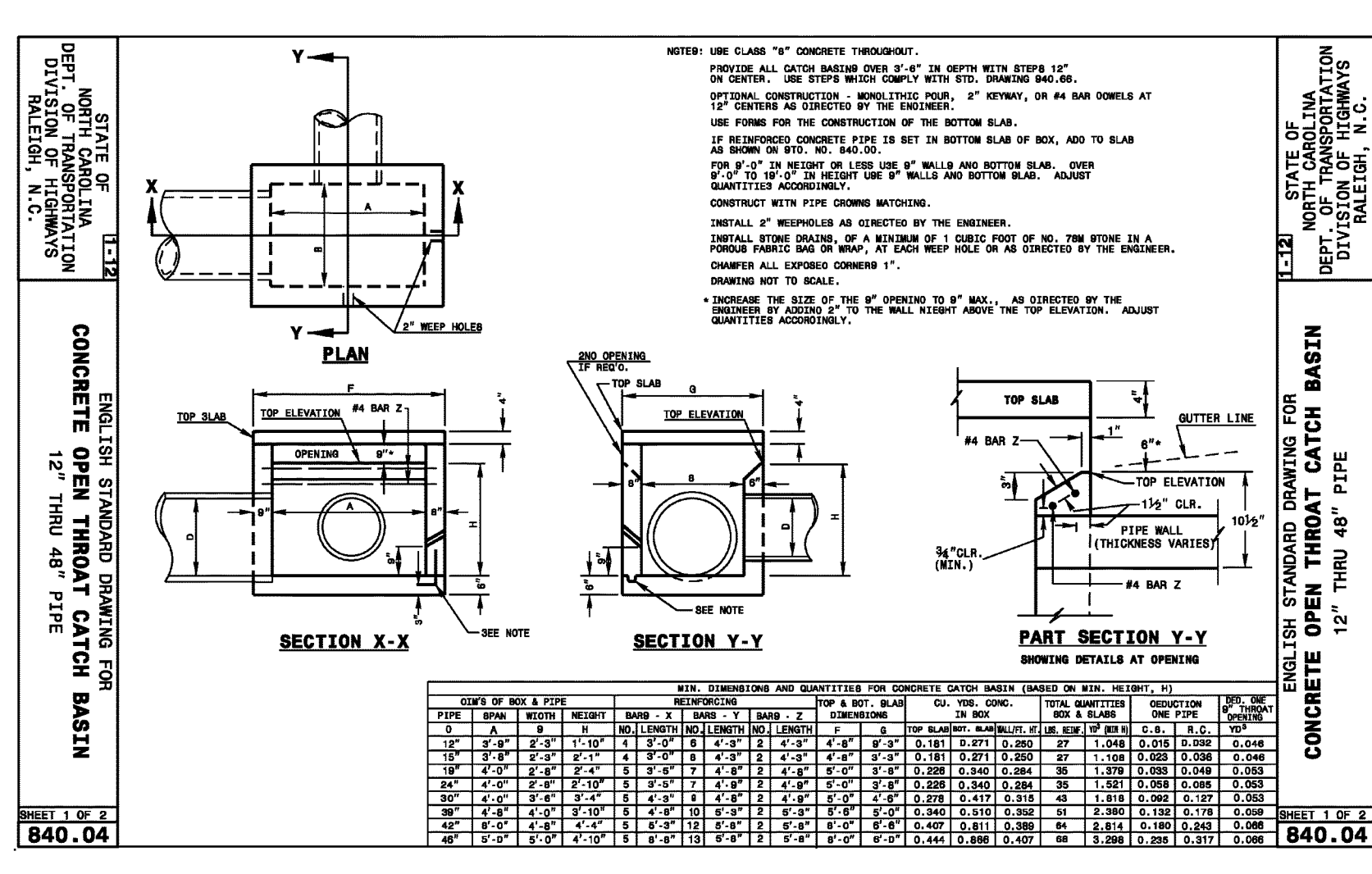
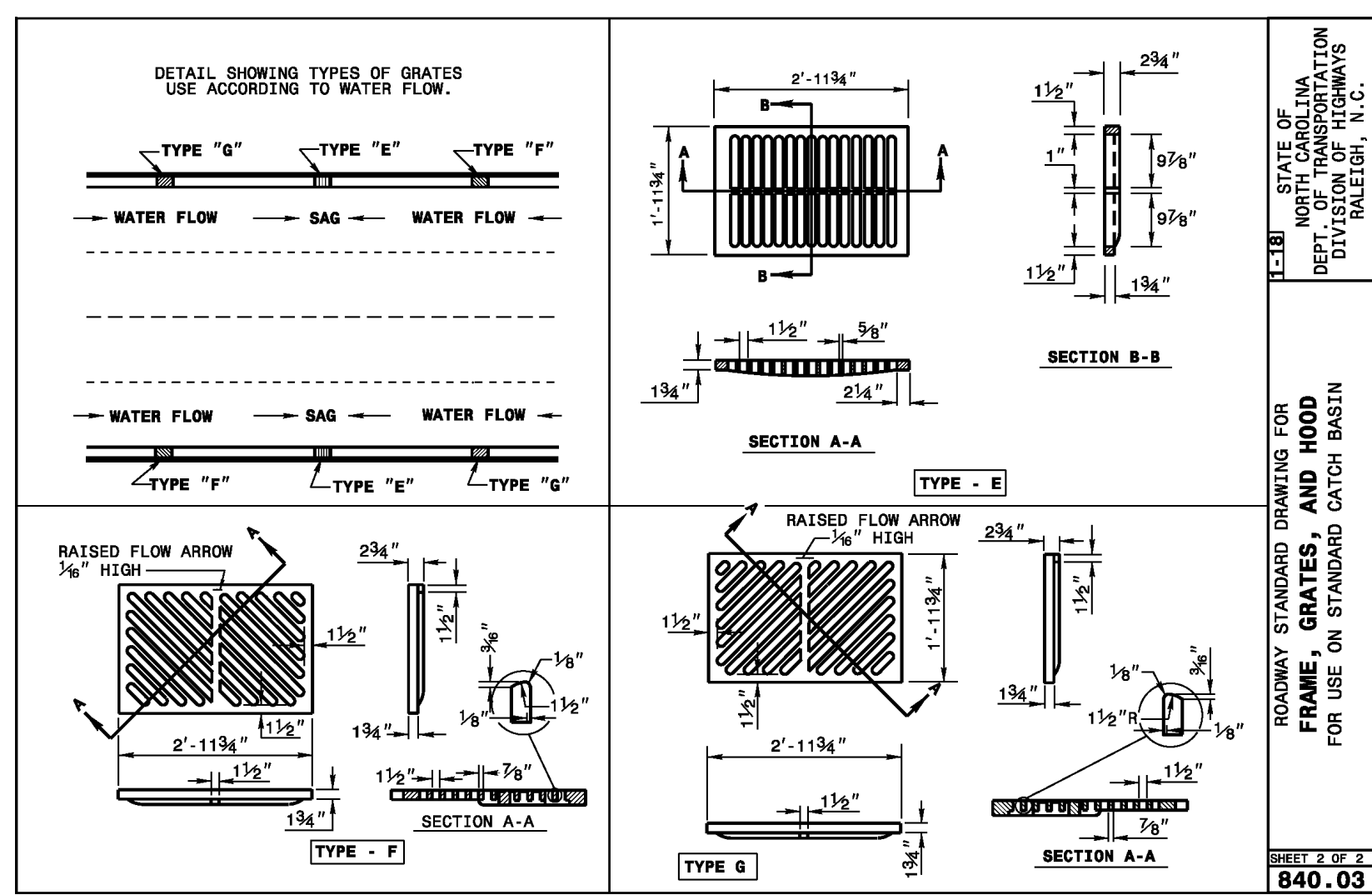
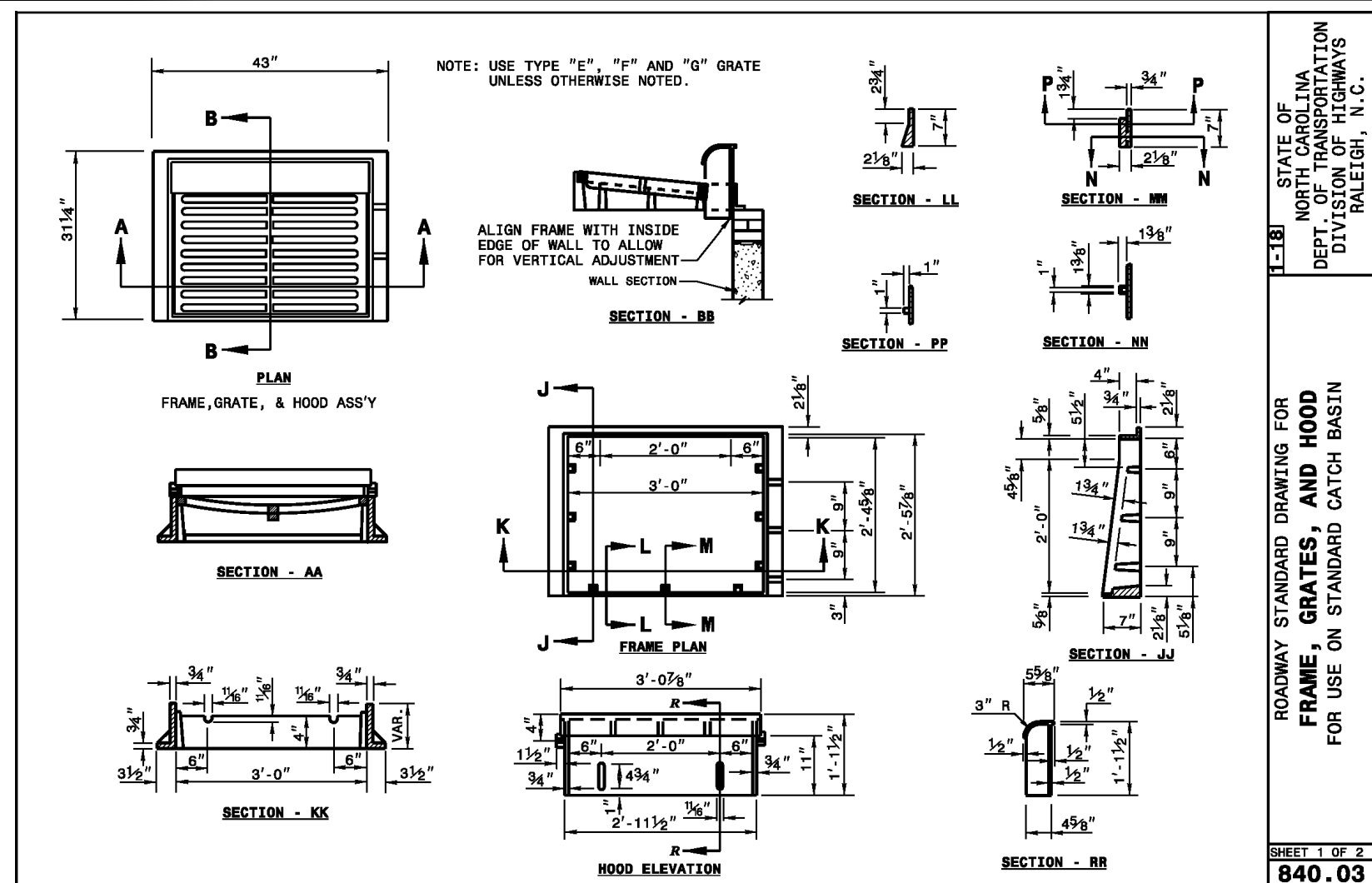
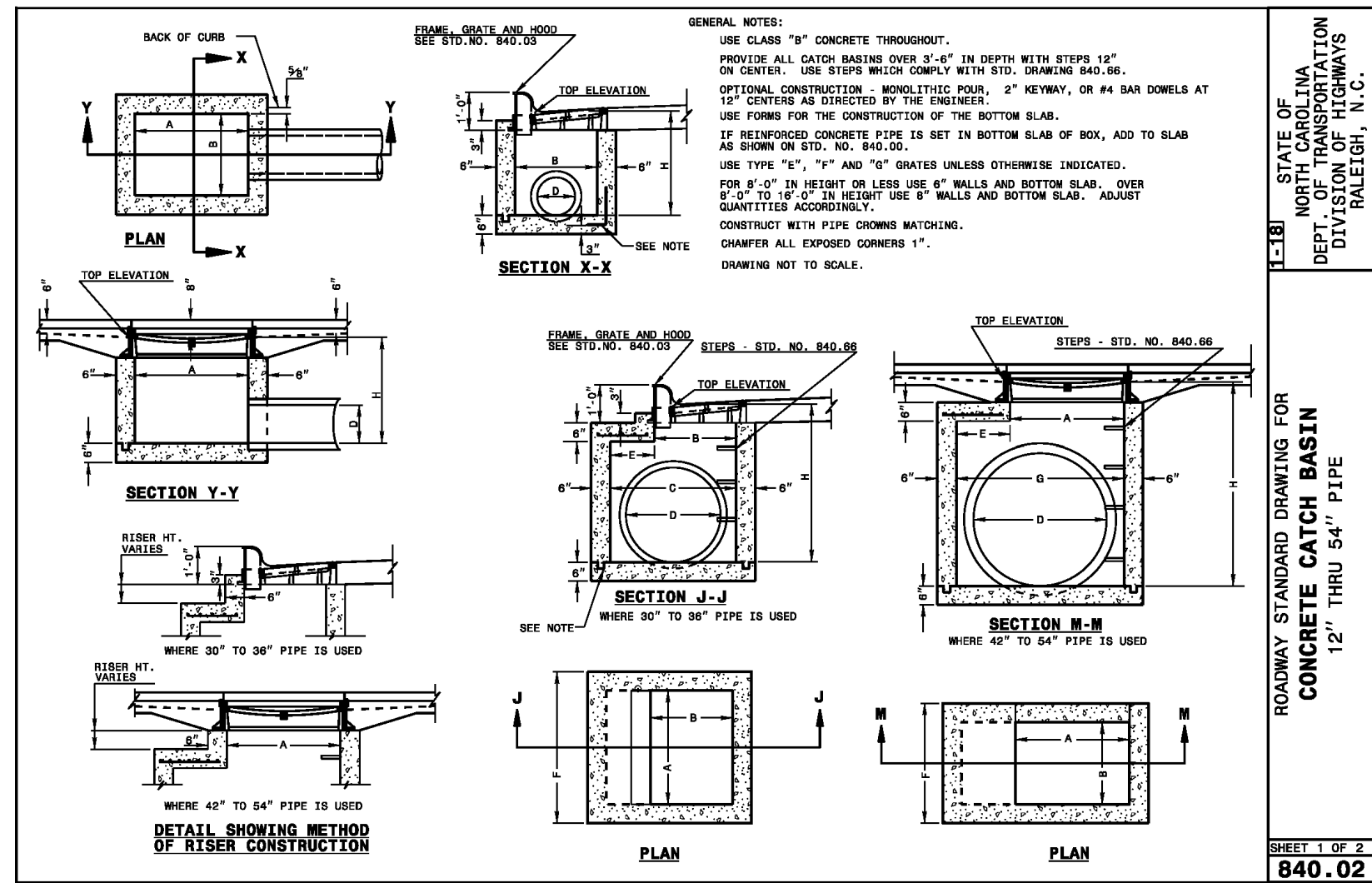
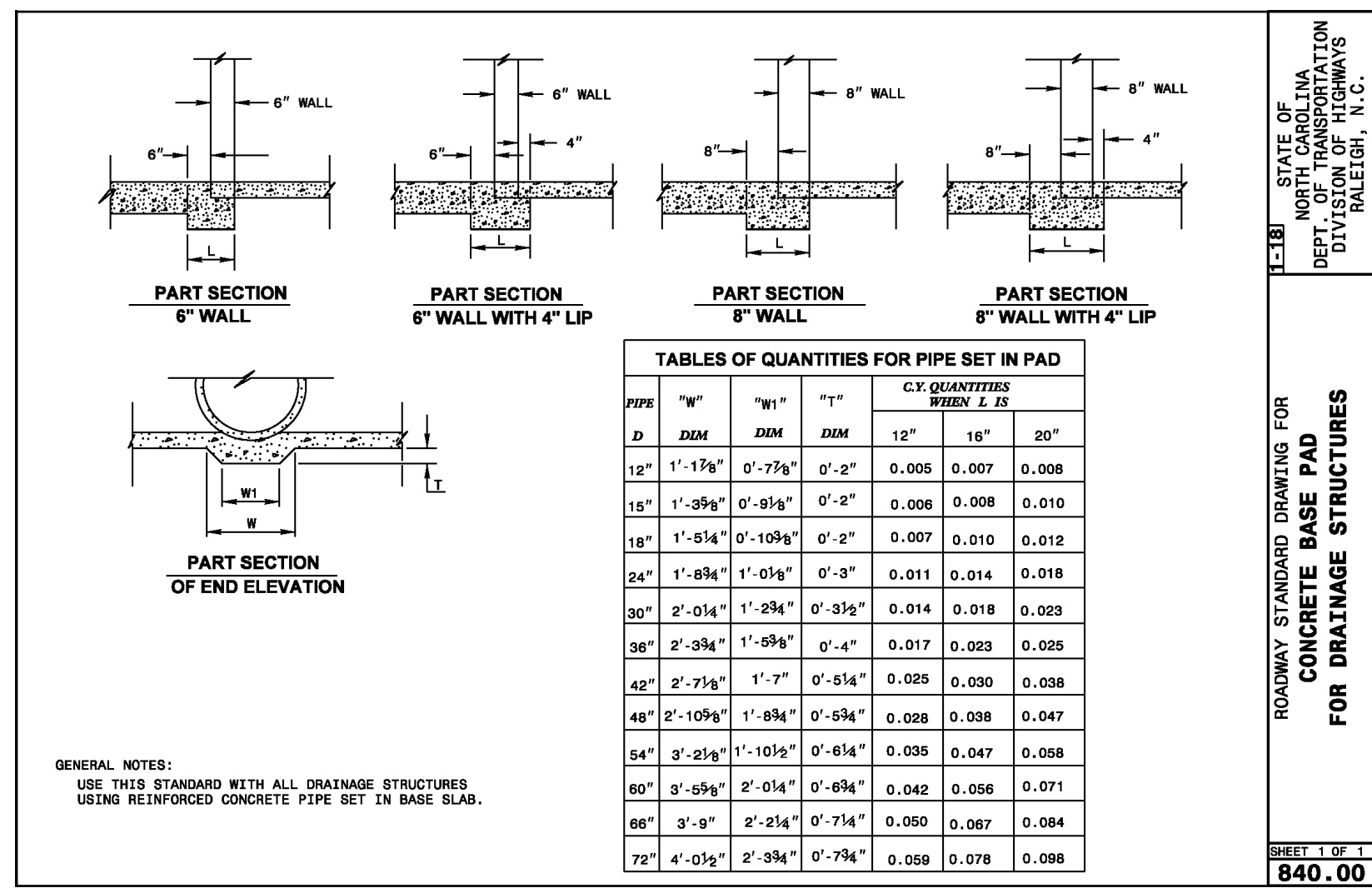
PROJECT ENGINEER/ARCHITECT
TAS (TASMIT@SUMMITDE.COM)
PROJECT MANAGER
WYI (WILLIAM.WYI@SUMMITDE.COM)
DRAWN BY
GS (GOVINDA.SEDHAI@SUMMITDE.COM)
FIRST ISSUE DATE
09-16-2021



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SITE PLANS FOR
TRYON INVESTMENTS PH III
840 MEADOWLAND DRIVE
HILLSBOROUGH, NC 27278
WATER & SEWER DETAILS

PROJECT NO.
17-0531
DRAWING NAME:
17-0531_D.dwg
SHEET NO.
D-2



3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	4
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[illegible][illegible][illegible][illegible]

PROJECT SUMMARY

CALCULATION DETAILS

- LOADING = HS20 & HS25
- APPROX. LINEAR FOOTAGE = 323 ft.

STORAGE SUMMARY

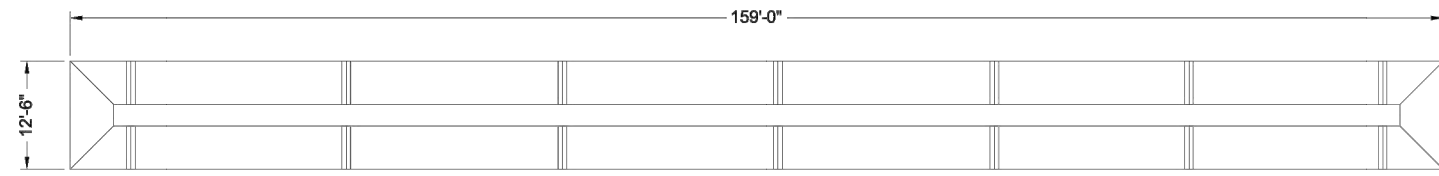
- STORAGE VOLUME REQUIRED = 9,000 cf.
- PIPE STORAGE VOLUME = 6,342 cf.
- BACKFILL STORAGE VOLUME = 2,658 cf.
- TOTAL STORAGE PROVIDED = 9,000 cf.

PIPE DETAILS

- DIAMETER = 60 IN.
- CORRUPTION = 5x1
- GAGE = 16
- COATING = AL-2
- WALL TYPE = S&H
- BARRELL SPACING = 30 IN.

BACKFILL DETAILS

- WIDTH AT ENDS = 12 IN.
- ABOVE PIPE = 0 IN.
- WIDTH AT SIDES = 12 IN.
- BELOW PIPE = 0 IN.



NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2 1/2" x 1 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BRAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN. QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

DATE	REVISION DESCRIPTION	BY

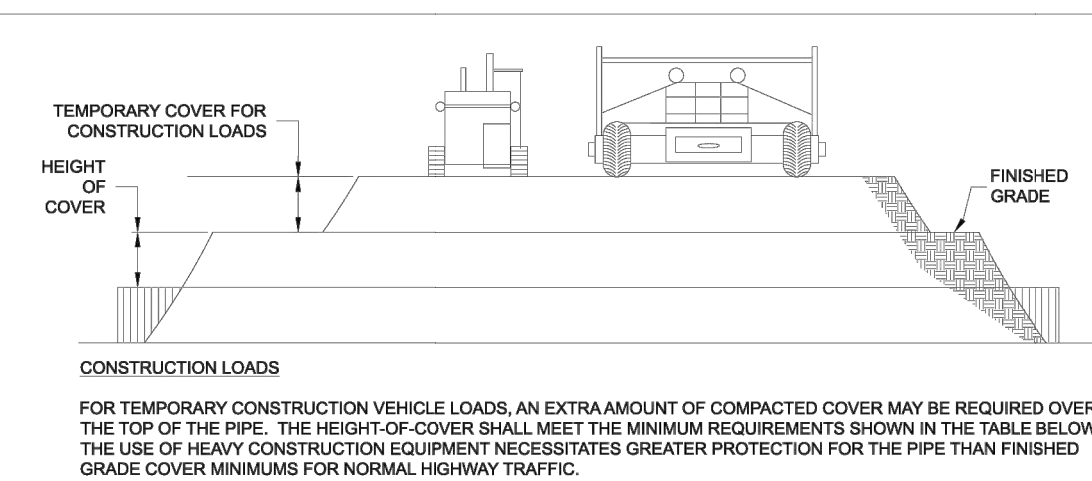
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ENGINEERED SOLUTIONS LLC
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9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWINGS

DY07706 Tryon III
UGDS
Hillsborough, NC
DETENTION SYSTEM

PROJECT NO.: 4815
SHEET NO.: 7706
DATE: 5/13/2021
DESIGNED: DYO
CHECKED: DYO
APPROVED: DYO
SHEET NO.: D1

ASSEMBLY
SCALE: 1" = 20'



CONSTRUCTION LOADING DIAGRAM

SCALE: N.T.S.

SPECIFICATION FOR DESIGNED DETENTION SYSTEM:

SCOPE
THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE DESIGNED DETENTION SYSTEM DETAILED IN THE PROJECT PLANS.

MATERIAL
THE MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-245 OR ASTM A-792.

THE GALVANIZED STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-218 OR ASTM A-742.

THE ALUMINUM COILS SHALL CONFORM TO THE APPLICABLE OF AASHTO M-197 OR ASTM B-744.

CONSTRUCTION LOADS
CONSTRUCTION LOADS MAY BE HIGHER THAN FINAL LOADS. FOLLOW THE MANUFACTURER'S OR NCSPA GUIDELINES.

NOTE:
THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

PIPE: THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2: AASHTO M-36 OR ASTM A-790

GALVANIZED: AASHTO M-36 OR ASTM A-790

APPLICABLE HANDLING AND ASSEMBLY: AASHTO M-196 OR ASTM B-745

SHALL BE IN ACCORDANCE WITH NCSPA (NATIONAL CORRUGATED STEEL ASSOCIATION) FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL. SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR ALUMINUM PIPE.

INSTALLATION SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION I OR ASTM A-798 FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL OR ASTM B-788 FOR ALUMINUM PIPE AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.

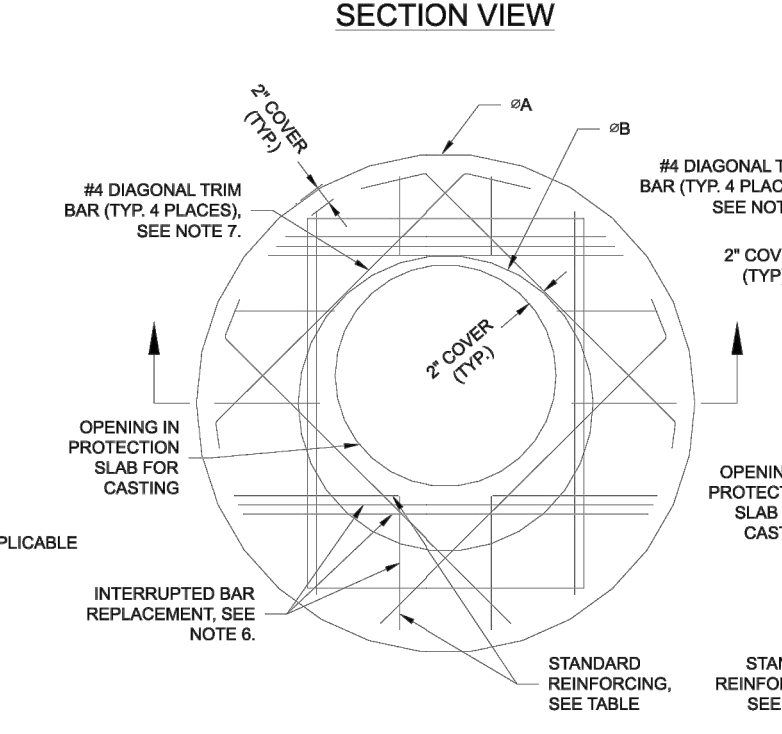
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9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWINGS

DY07706 Tryon III
UGDS
Hillsborough, NC
DETENTION SYSTEM

PROJECT NO.: 4815
SHEET NO.: 7706
DATE: 5/13/2021
DESIGNED: DYO
CHECKED: DYO
APPROVED: DYO
SHEET NO.: D3

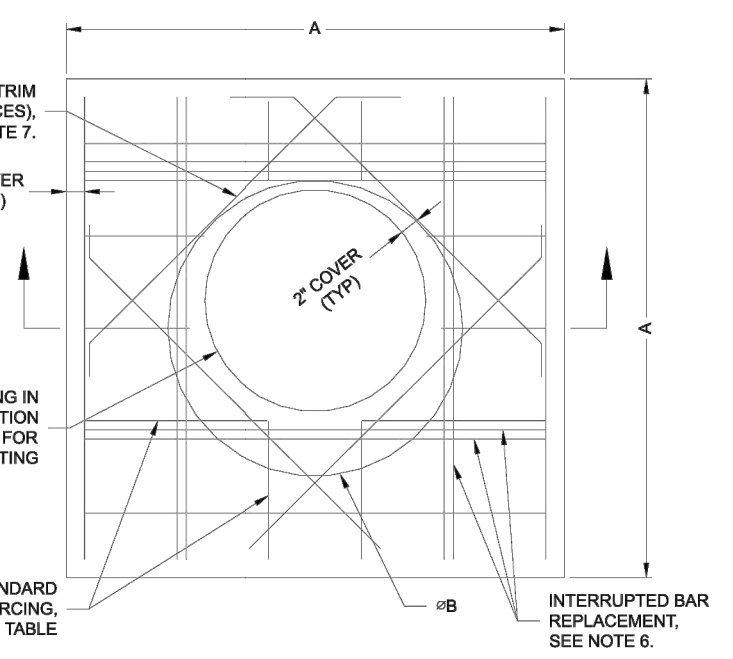
ROUND OPTION PLAN VIEW



Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	4'-4"	26"	#5 @ 12" OC EW	2,410
	4'-4"		#5 @ 12" OC EW	1,780
30"	4'-4"	32"	#5 @ 12" OC EW	2,120
	4'-4"		#5 @ 12" OC EW	1,530
36"	5'-0"	38"	#5 @ 10" OC EW	1,890
	5'-0"		#5 @ 10" OC EW	1,350
42"	5'-4"	44"	#5 @ 10" OC EW	1,720
	5'-4"		#5 @ 9" OC EW	1,210
48"	5'-6"	50"	#5 @ 9" OC EW	1,600
	5'-6"		#5 @ 9" OC EW	1,100

** ASSUMED SOIL BEARING CAPACITY

SQUARE OPTION PLAN VIEW

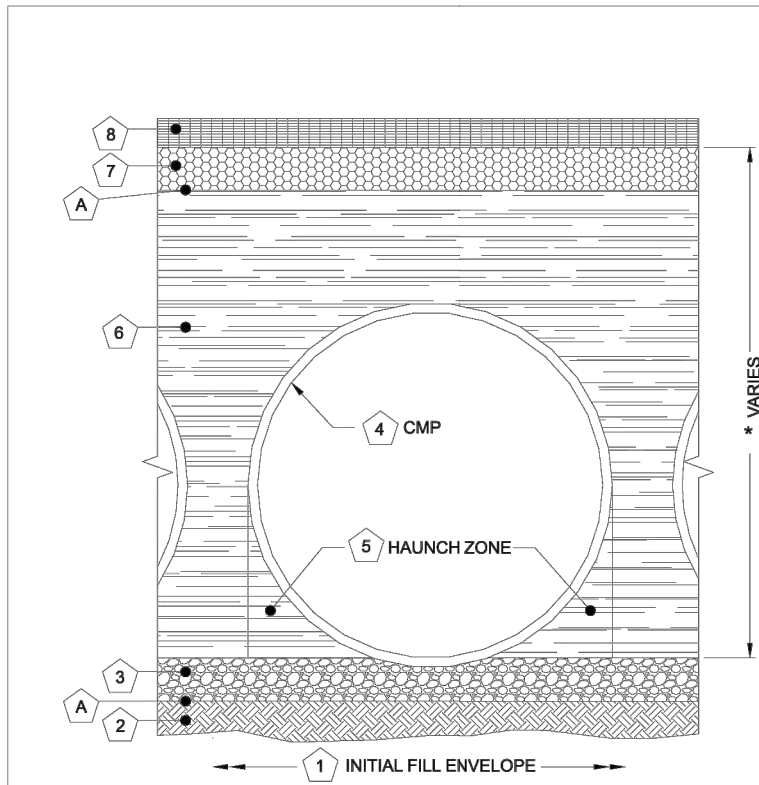


MANHOLE CAP DETAIL

SCALE: N.T.S.

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE, ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS. EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.



Material Location	Description	Material Designation	Designation
Riser or Flexible Pavement (if applicable)			
Backfill	Well graded granular material	AASHTO M 145-A-1, A-2, A-3	Engineer Decision for consideration to prevent soil migration into varying soil types
Bedding Stone	Well graded granular bedding	AASHTO M43 - material maximum particle size of 3"	Placed in 4" +/- loose fill and compacted to 50% Standard Proctor Per AASHTO T 99
Geotextile Layer	Non-Woven Geotextile	CONTECH C-40 or C-45	Engineer to determine if bedding is required. Pipe may be placed on the trench bottom of a relatively loose, native suitable well graded & granular material. For Arch pipes it is recommended that be shaped to a relatively flat bottom or fine-grade the foundation to a slight shape. Unstable material should be over-excavated and re-placed with a 4" layer of well graded & granular stone per the material designation. See AASHTO 28.3.1.2 & 5.3 Bedding type
Geotextile Layer	Non-Woven Geotextile	CONTECH C-40 or C-45	Engineer Decision for consideration to prevent soil migration into varying soil types

- MINIMUM WIDTH DEPENDS ON SITE CONDITIONS AND ENGINEERING JUDGEMENT
- FOUNDATION/BEDDING PREPARATION
- HAUNCH ZONE MATERIAL SHALL BE PLACED AND UNIFORMLY COMPACTED WITHOUT SOFT SPOTS.

BACKFILL

WHEN PLACING THE FIRST LIFTS OF BACKFILL, IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (15") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

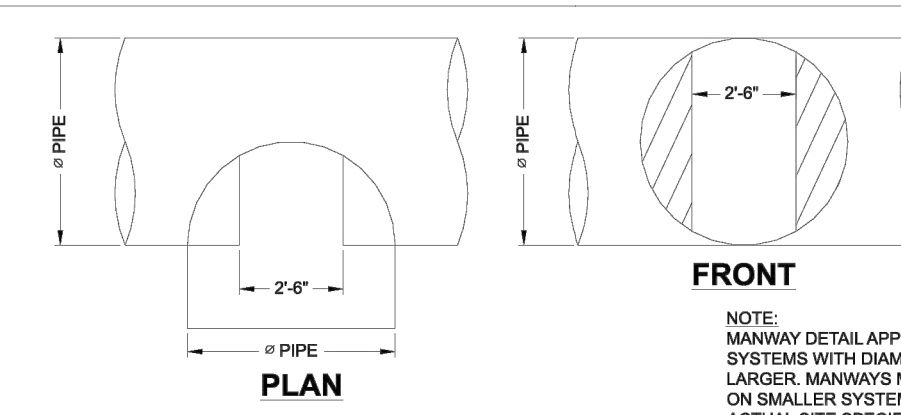
OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.

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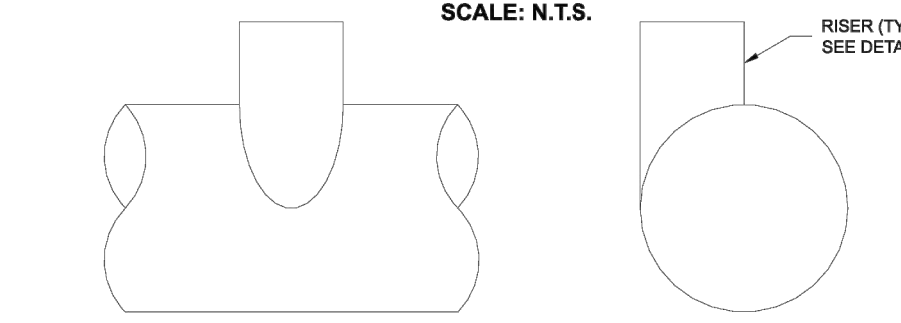
CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWINGS

DY07706 Tryon III
UGDS
Hillsborough, NC
DETENTION SYSTEM

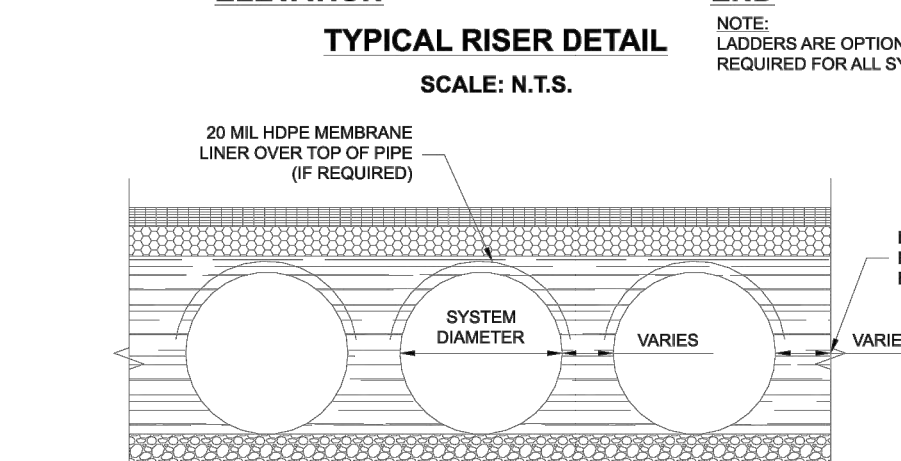
PROJECT NO.: 4815
SHEET NO.: 7706
DATE: 5/13/2021
DESIGNED: DYO
CHECKED: DYO
APPROVED: DYO
SHEET NO.: D2



SCALE: N.T.S.



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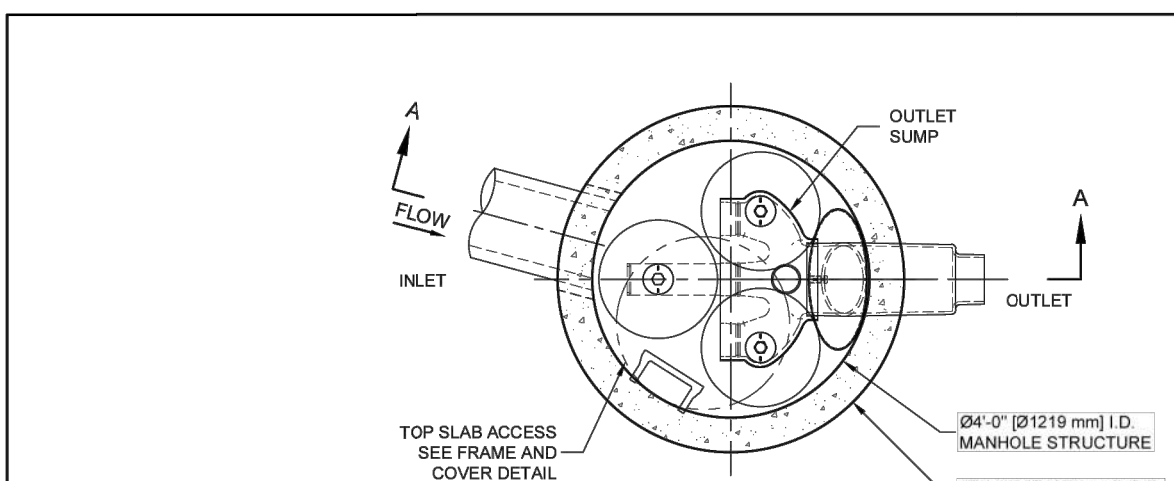


SCALE: N.T.S.

NOTE: IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, AN HOPE MEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.

DY07706 Tryon III
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DETENTION SYSTEM

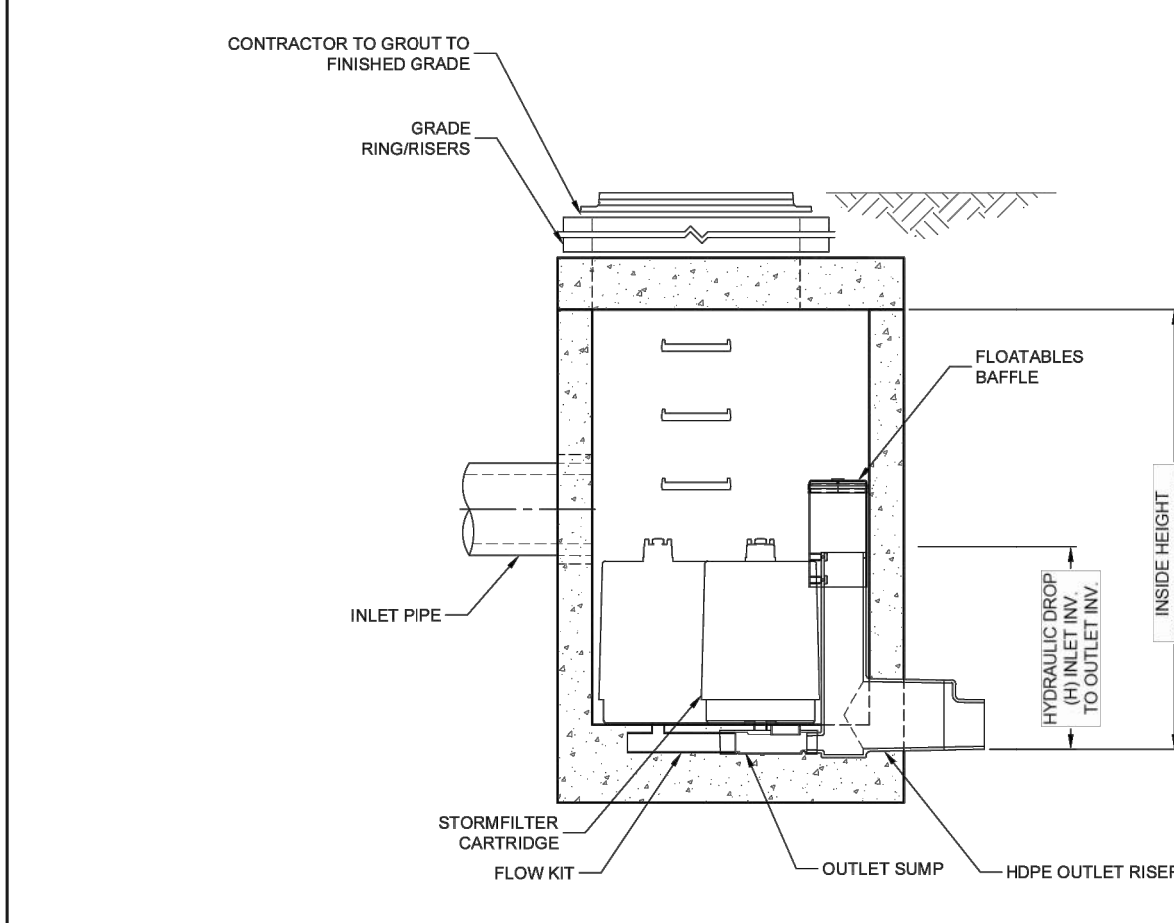
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PLAN VIEW

STANDARD OUTLET RISER

FLOWKIT: 40A



SECTION A-A

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STORMFILTER DESIGN NOTES

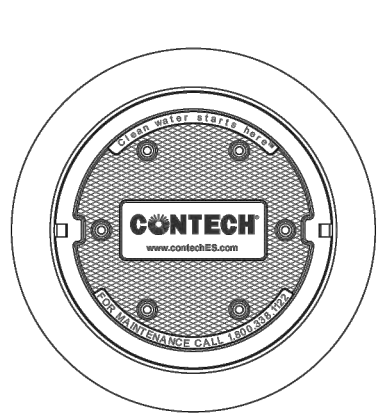
STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (3). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 3 CARTRIDGES. Ø4 (1219 mm) MANHOLE STORMFILTER PEAK HYDRAULIC CAPACITY IS 1.0 CFS [28.3 L/s]. IF THE SITE CONDITIONS EXCEED 1.0 CFS [28.3 L/s] AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27" (686 mm)	18" (456 mm)	LOW DROP
CARTRIDGE HEIGHT	2.410	2.3 (700 mm)	1.6 (500 mm)
RECOMMENDED HYDRAULIC DROP (ft)	3.02 (930 mm)	2.3 (700 mm)	1.6 (500 mm)
SPECIFIC FLOW RATE (gpm/ft²) [L/s/m²]	2.1 (30)	1.67 (1.08)	1.0 (0.66)
CARTRIDGE FLOW RATE (gpm) [L/s]	22.5 (1.42)	18.79 (1.19)	11.25 (0.71)
	19 (0.60)	12.55 (0.79)	7.5 (0.43)
	15 (0.90)	12.55 (0.79)	4.35 (0.26)

1.67 gpm/ft² (1.08 L/s/m²) SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHORUS (PSORB) MEDIA ONLY

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	+
WATER QUALITY FLOW RATE (cfs) [L/s]	+
PEAK FLOW RATE (cfs) [L/s]	+
RETURN PERIOD OF PEAK FLOW (yrs)	+
CARTRIDGE HEIGHT (SEE TABLE ABOVE)	+
NUMBER OF CARTRIDGES REQUIRED	+
CARTRIDGE FLOW RATE	+
MEDIA TYPE (PERLITE, ZPS, PSORB)	+
PIPE DATA	+
INLET PIPE #1	+
INLET PIPE #2	+
OUTLET PIPE	+
RAW ELEVATION	+
ANTI-FLOTATION BALLAST	+
NOTES/SPECIAL REQUIREMENTS:	+
* PER ENGINEER OF RECORD	



FRAME AND COVER

(DIAMETER VARIES)

N.T.S.

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0'-9" (1624 mm) AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGES SHALL BE MEDIA FILLED, PASSIVE, SIMON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES (178 mm). FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) [L/s] DIVIDED BY THE FILTER CONTACT SURFACE AREA (in²) [m²].
- STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPE(S).
- CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB.
- OUTLET STUB AND BANG COLLAR, IF OUTLET PIPE IS LARGER THAN 8-INCH (200 mm) OUTLET STUB AT MOULDED-IN CUT LINE. COUPLING BY FERROD OR EQUAL PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

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DY07706 Tryon III
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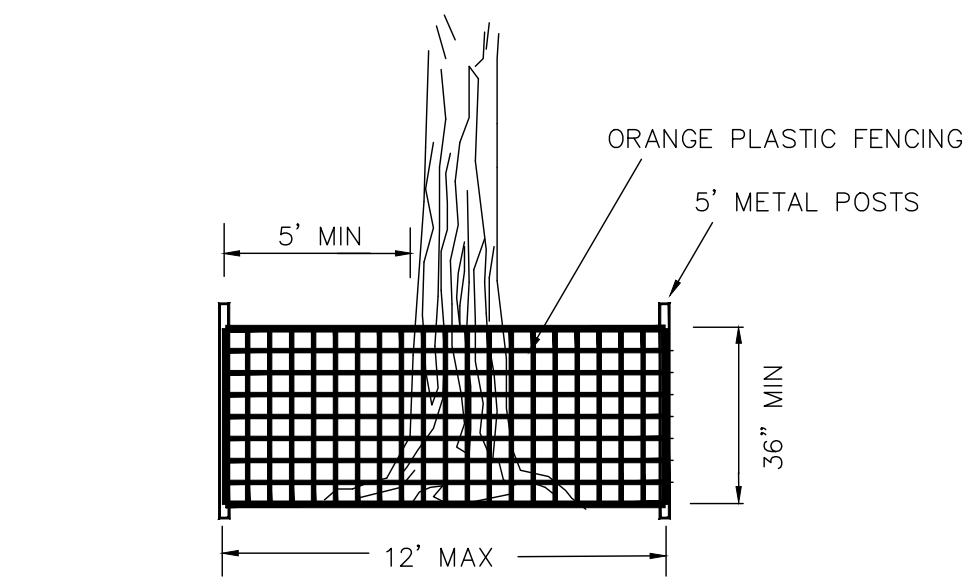
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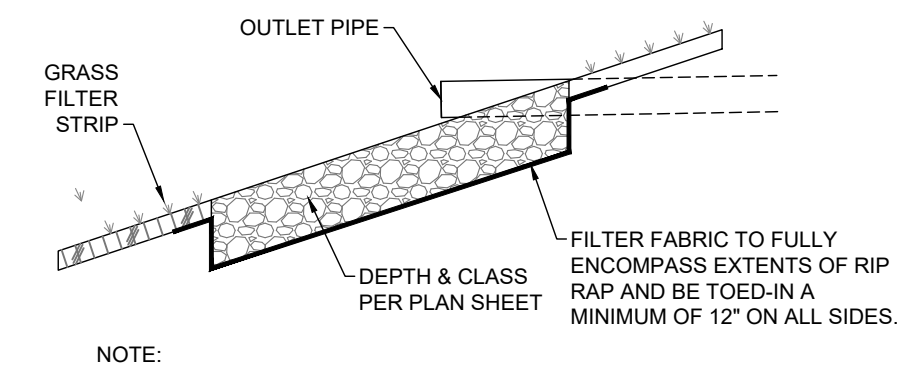
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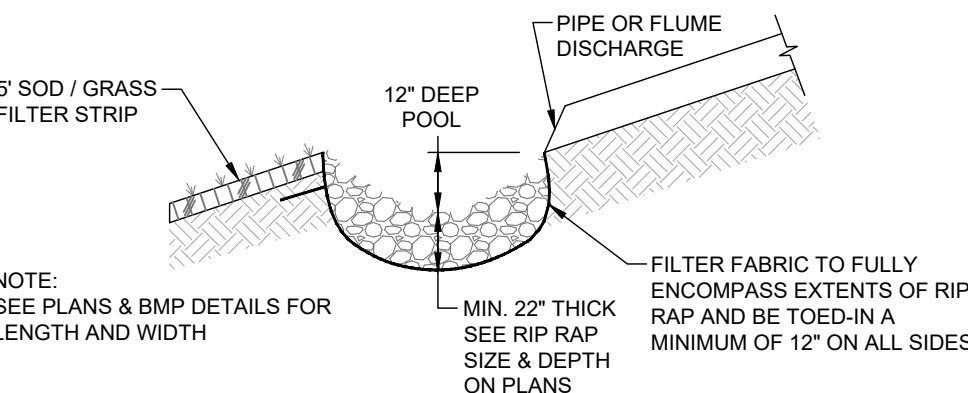


- NOTES:**
1. TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT.
 2. SIGNS IN BOTH ENGLISH AND SPANISH SHALL BE IN PLACE IN TREE PROTECTION AREAS. THE SIGNS SHOULD READ, "TREE PROTECTION AREA NO 'TRESPASSING' AND 'ZONA PROTECTORA PARA LOS ARBOLES/ PROHIBIDO ENTRAR'."

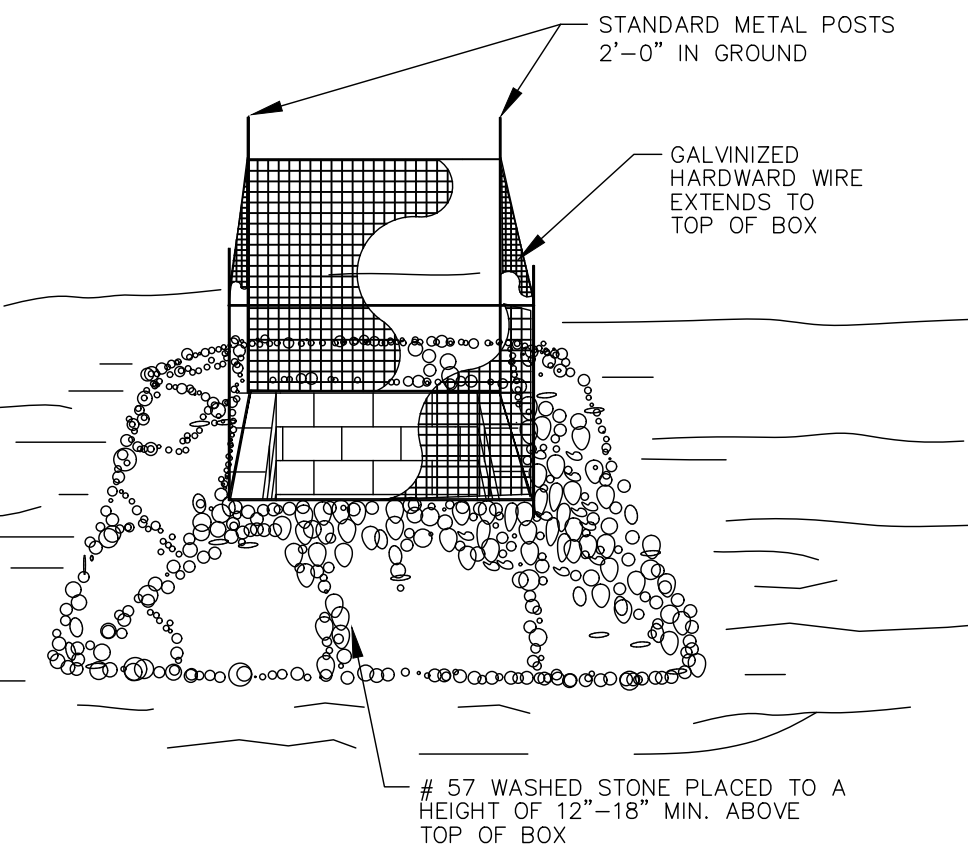
TREE PROTECTION FENCE
NTS



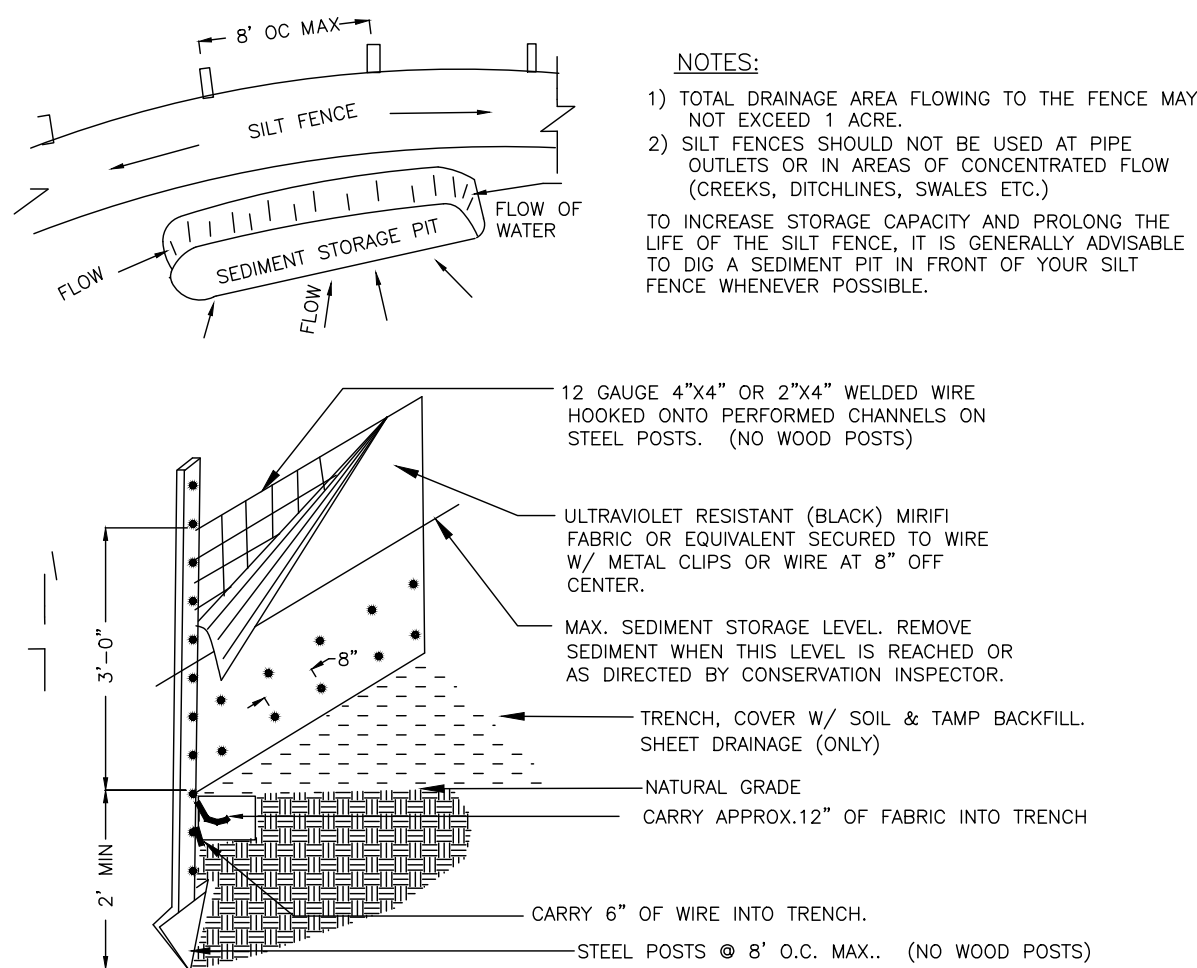
RIP RAP OUTLET PROTECTION
NOT TO SCALE



RIP RAP PLUNGE POOL
NTS

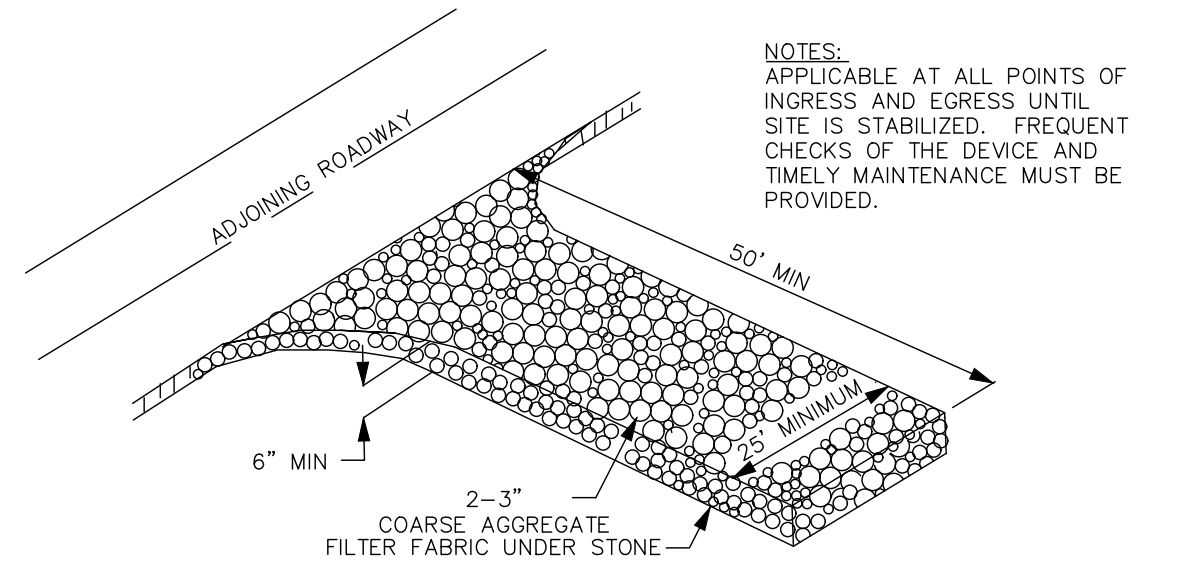


STANDARD CATCH BASIN/YARD INLET PROTECTION
NTS

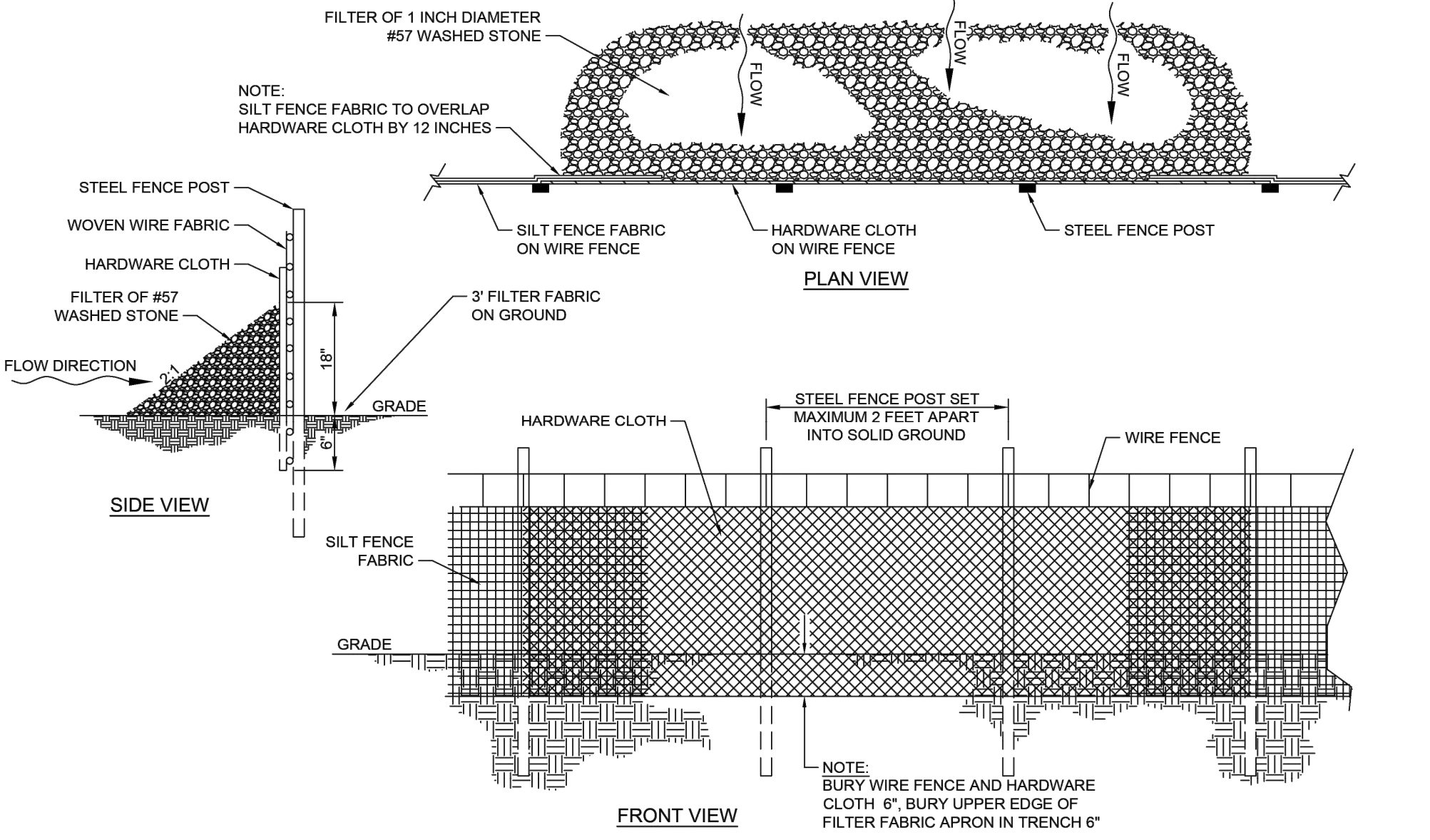
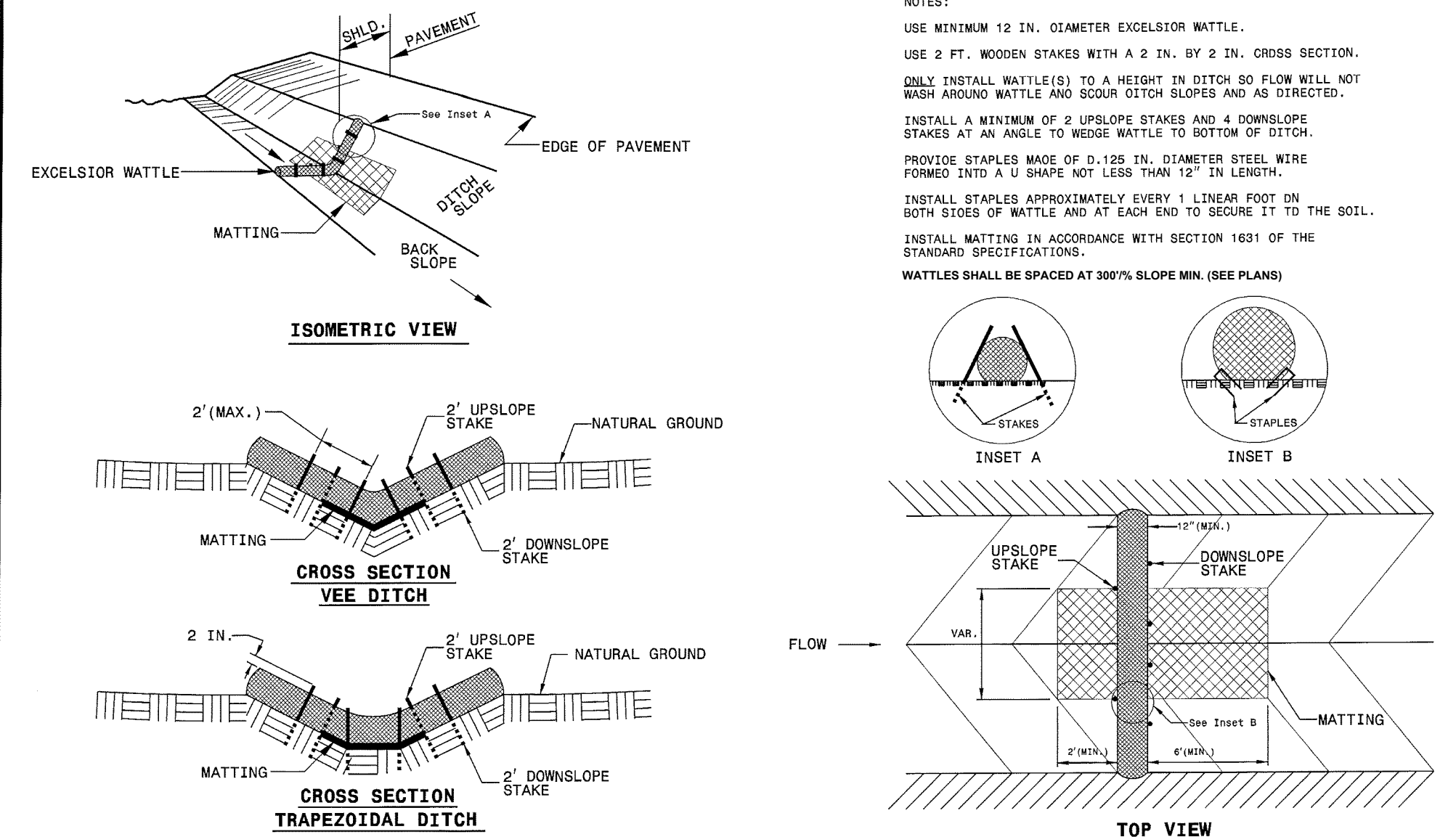


MAINTENANCE:
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TEMPORARY SILT FENCE
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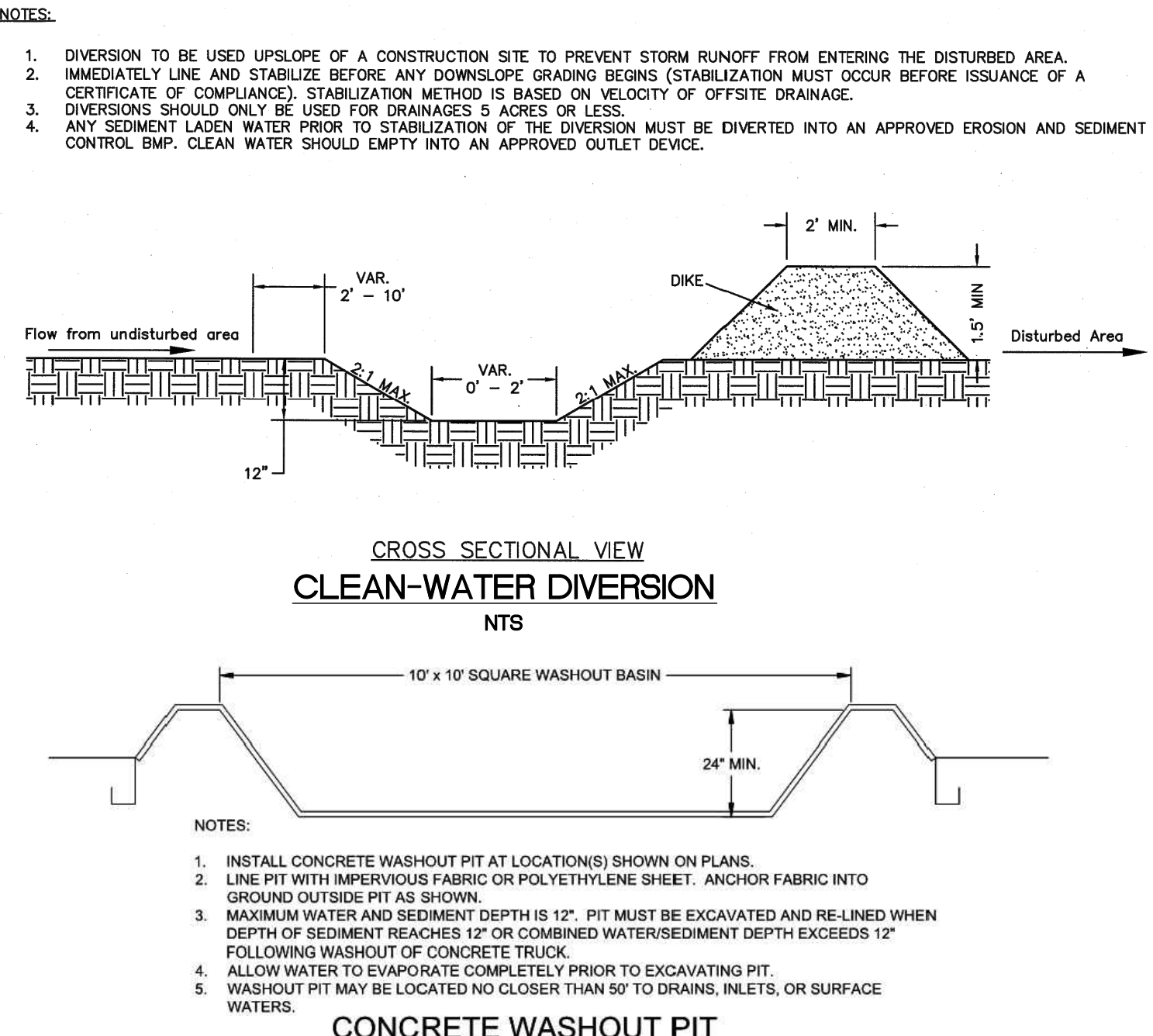


WATTLE DETAIL



STANDARD SILT FENCE OUTLET
NTS

- NOTE:**
- 1.) REMOVE SEDIMENT WHEN HALF FULL.
 - 2.) REPLACE STONE AS NEEDED TO ENSURE DEWATERING



CLEAN-WATER DIVERSION
NTS

CONCRETE WASHOUT PIT

TEMPORARY SEEDING OF SITE

SEEDING MIXTURE SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	120
ANNUAL LESPEDEZA (KOBE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	50
GERMAN MILLET	40
OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUNDAGRASS	
RYE (GRAIN)	120
IS NOT TO EXTEND BEYOND JUNE. MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE.	
SEEDING DATES:	
MOUNTAINS - ABOVE 2500 ft. FEB. 15 - MAY 15	
PIEDMONT - JAN. 1 - MAY 1	
COASTAL PLAIN - DEC. 1 - APR. 15	
MOUNTAINS - MAY 15 - AUG. 15	
PIEDMONT - MAY 1 - AUG. 15	
COASTAL PLAIN - APR. 15 - AUG. 15	
MOUNTAINS - AUG. 15 - DEC. 15	
COASTAL PLAIN AND PIEDMONT - AUG. 15 - DEC. 30	

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LBS/ACRE 10-10-10 FERTILIZER

MULCH
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

PERMANENT SEEDING OF SLOPES

SEEDING MIXTURE SPECIES	RATE (LB/ACRE)
TALL FESCUE	250
SERICEA LESPEDEZA	20
KOBE LESPEDEZA	50

- SEEDING NOTES**
1. AFTER AUGUST 15 USE UNSPECIFIED SERICEA SEED.
 2. WHERE PERIODIC MOWING IS PLANNED OR A NEAR APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE LESPEDEZA TO 40 LB/ACRE.
 3. TO EXTEND SPRING SEEDING DATES INTO JUNE, ADD 15LB/ACRE HULLED BERMUDAGRASS. HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO SEED TEMPORARY COVER.
 4. NOTE THAT ANY DISTURBED AREAS WITHIN THE RIPARIAN BUFFER SHOULD BE SEED WITH A RIPARIAN BUFFER SEED MIX AND NOT TURF GRASSES.

NURSE PLANTS
BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN MILLET OR 15LB/ACRE SUDAGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15 ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES	BEST	POSSIBLE
FALL:	AUGUST 25 - SEPTEMBER 15	AUGUST 20 - OCTOBER 25
LATE WINTER:	FEBRUARY 15 - MARCH 21	FEBRUARY 10 - APRIL 15

FALL IS BEST FOR ALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVER SEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOVED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

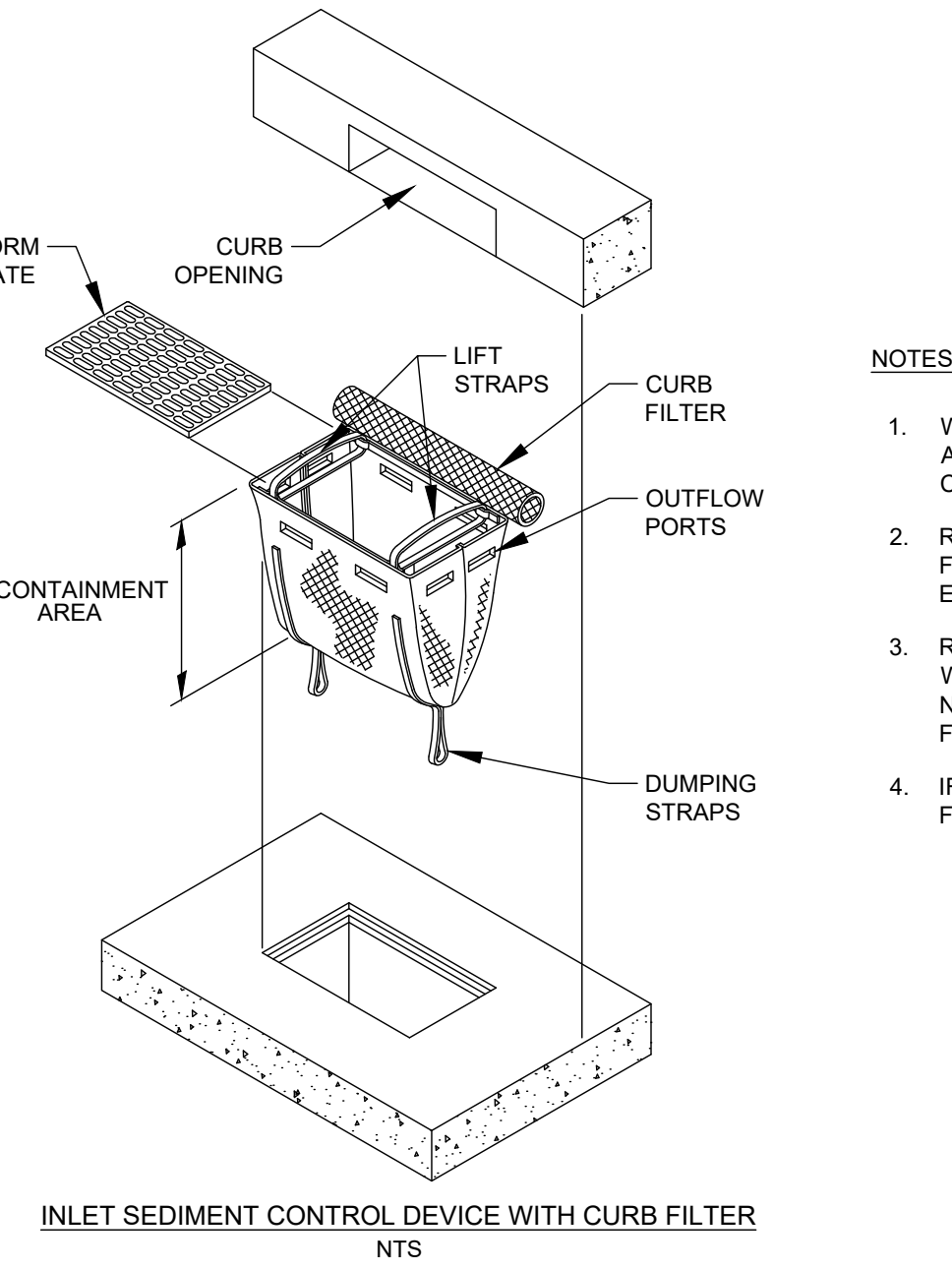
SEEDING NOTES

1. TILL ALL AREAS THAT ARE TO BE SEED TO A 6" DEPTH. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS.
2. LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
3. APPLY AGRICULTURAL LIME & FERTILIZER, UNIFORMLY MIX WITH SOIL (SEE NOTE BELOW).
4. AMEND SOIL TO PROVIDE SUFFICIENT ORGANIC MATTER FOR LONG TERM VEGETATION GROWTH AND INFILTRATION. IF SOIL IS NOT AMENDED, PROVIDE JUSTIFICATION (i.e. SOIL TEST RESULTS) FOR WHY THE AMENDMENT WAS NOT NECESSARY.
5. SEED FRESHLY PREPARED SEEDBED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK.
6. MULCH IMMEDIATELY AFTER SEEDING.
7. USE ADDITIONAL AMENDMENTS AS NECESSARY TO ENSURE THAT THE PERVIOUS SURFACE IS INFILTRATING STORMWATER AT PRE-DEVELOPMENT RATES.
8. INSPECT ALL SEEDING AREAS AND PERFORM NECESSARY RESEEDING WITHIN THE SAME PLANTING SEASON. IF POSSIBLE, IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH ORIGINAL LINE, FERTILIZER AND SEEDING RATES.
9. CONTINUE MAINTENANCE AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

* APPLY:
AGRICULTURAL LIMESTONE - 2 TONS/ACRES (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER - 1,000 lbw / ACRE - 10-10-10
SUPERPHOSPHATE - 500 lbw / ACRE - 20% ANALYSIS
MLCH - 2 TONS / ACRE (5000 LBS/AC FOR STEEP SLOPES) - SMALL GRAIN STRAW
ANOTHER - ASPHALT EMULSION @ 300 GALS / ACRE

SEEDBED PREPARATION

MAINTENANCE:
NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.
DAMAGE TO VEGETATION FROM DISEASE, INSECTS, TRAFFIC, ETC., CAN OCCUR AT ANY TIME. HERBICIDES AND REGULAR MOWING MAY BE NEEDED TO CONTROL WEEDS, DUST AND SPRAYS MAY BE NEEDED TO CONTROL INSECTS.
WEEK OR DAMAGED SPOTS MUST BE RELIMED, FERTILIZED, MULCHED, AND RESEED AS PROMPTLY AS POSSIBLE.



NOTES:

1. WHENEVER POSSIBLE, AN INTEGRATED CURB FILTER AND GRATE BAG SYSTEM SHOULD BE USED (DANDY CURB SACK OR EQUIVALENT).
2. REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE AND VICINITY OF THE UNIT AFTER EACH STORM EVENT.
3. REMOVE THE SEDIMENT THAT HAS ACCUMULATED WITHIN CONTAINMENT AREA OF THE CURB BAG AS NEEDED. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED.
4. IF THE DEVICE SUFFERS A TEAR, RIP, HOLE, OR OTHER FAILURE, IT SHOULD BE REPLACED IMMEDIATELY.

DATE	BY	REVISIONS
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5-25-2022	OS	
4-22-2022	OS	
2-14-2022	OS	
1-23-2021	OS	

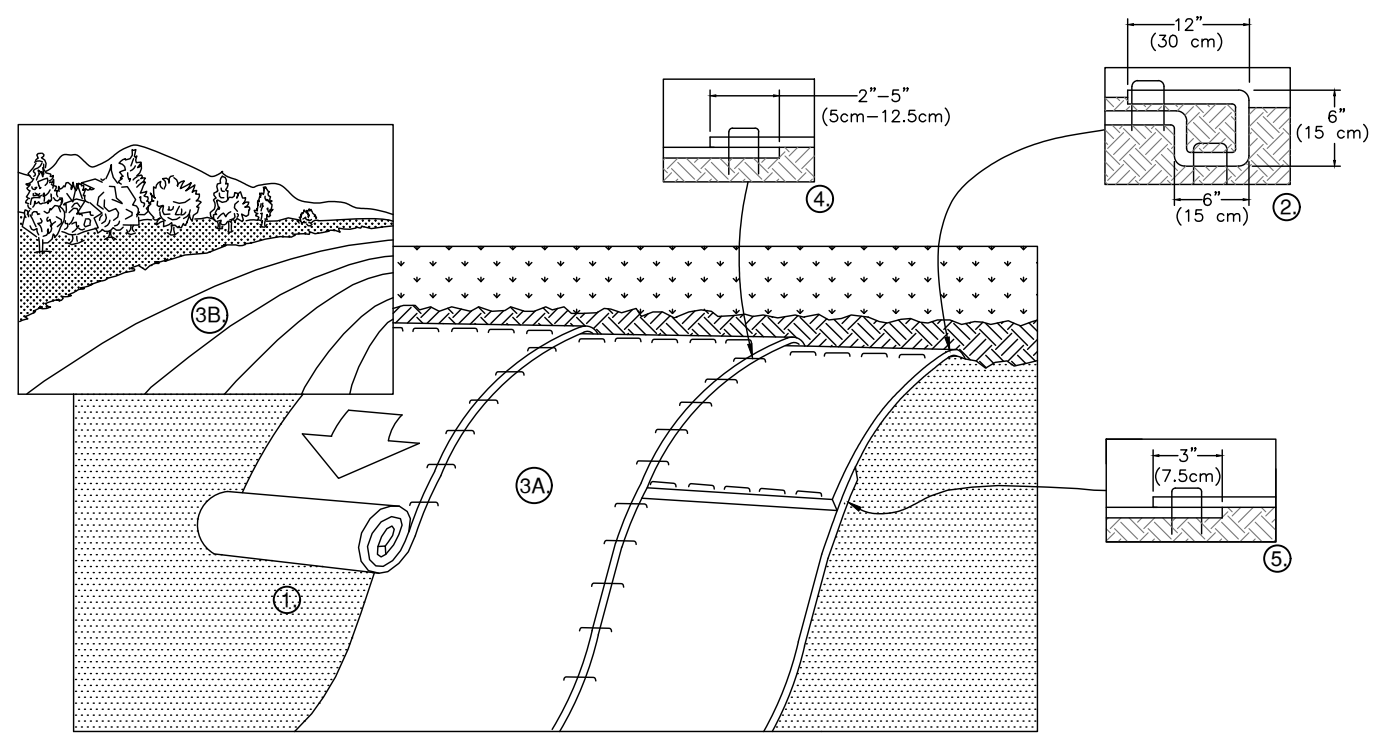
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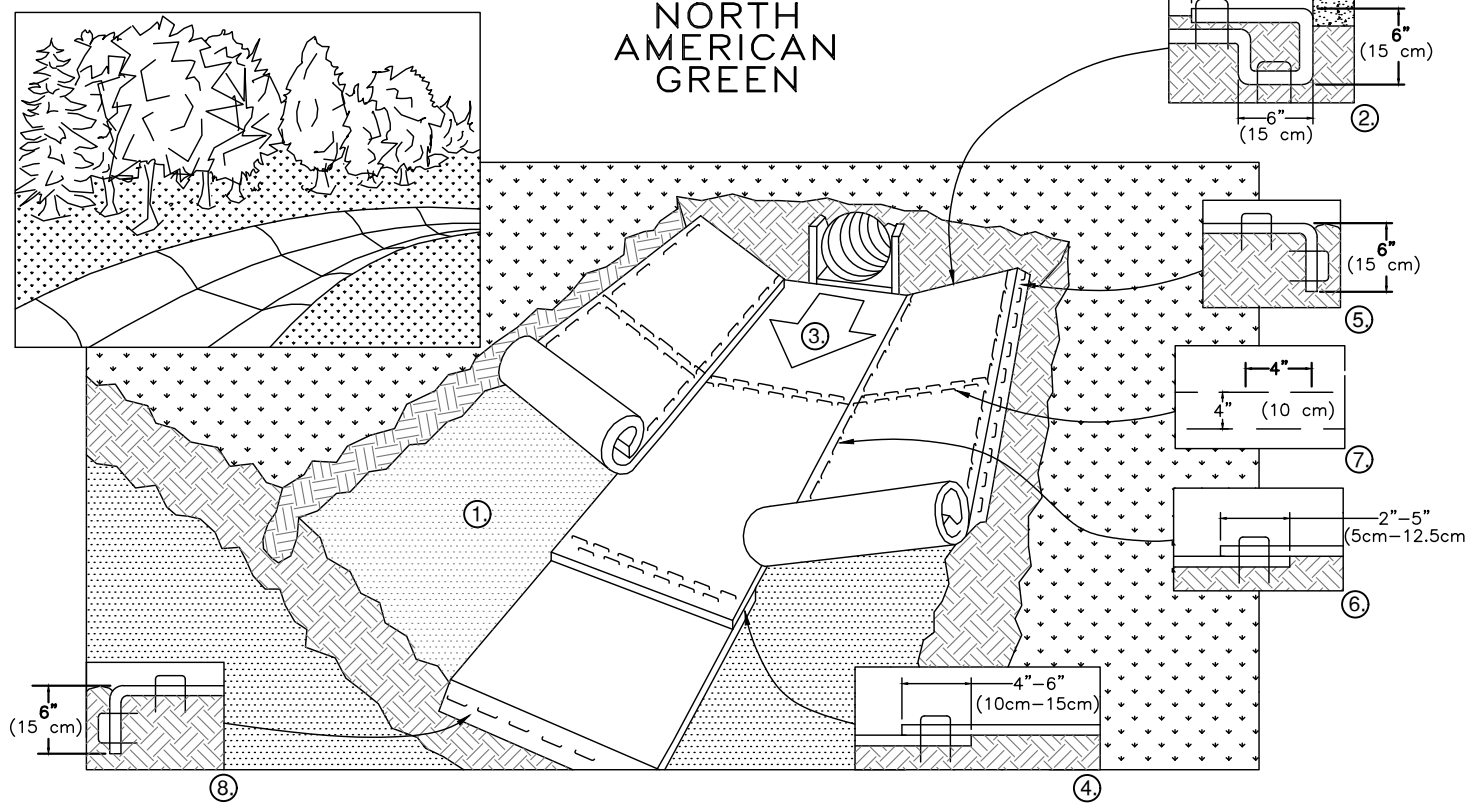
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5-25-2022	OS	
4-22-2022	OS	
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1-23-2021	OS	



- NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

TYPICAL SLOPE BLANKET INSTALLATION

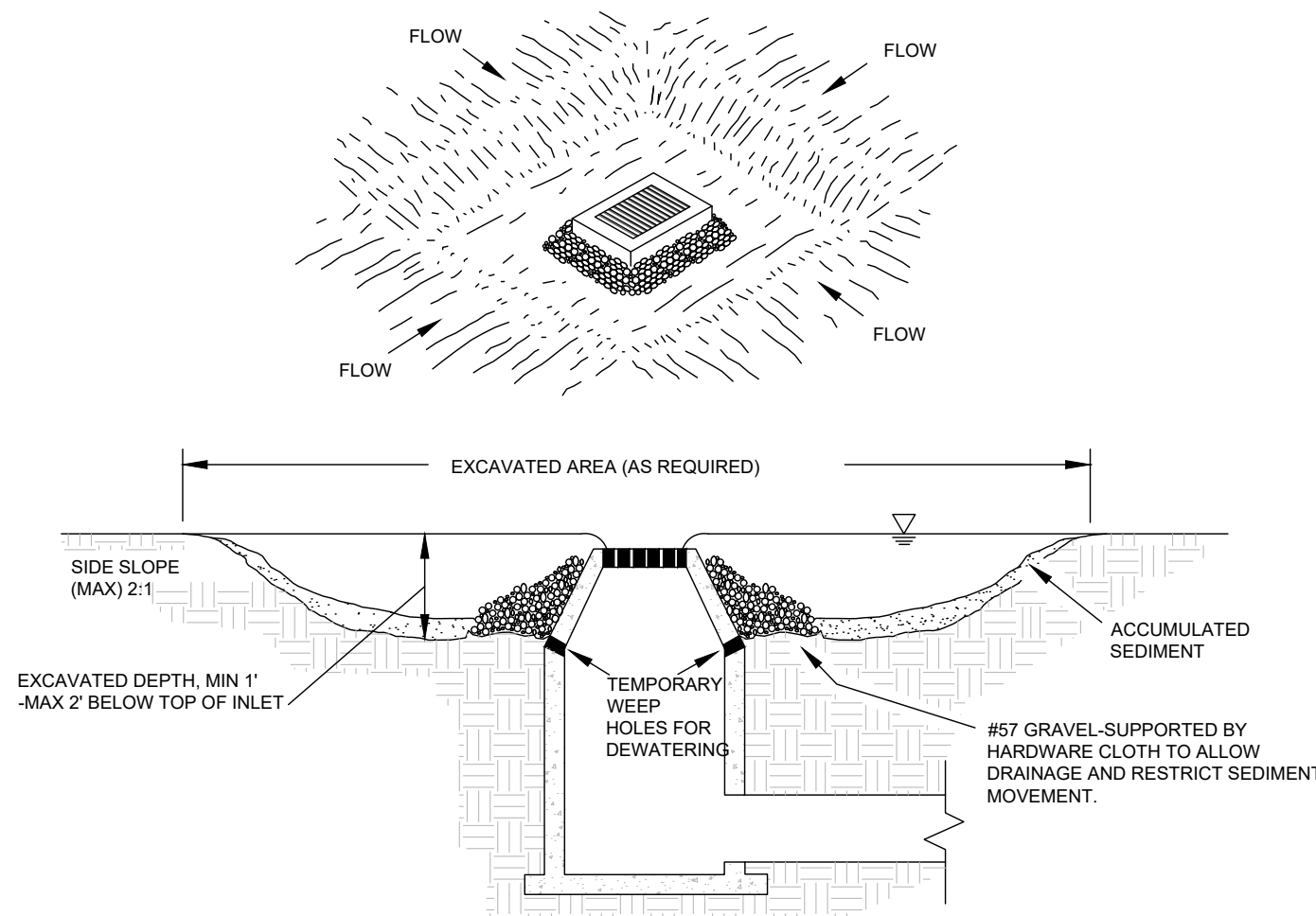


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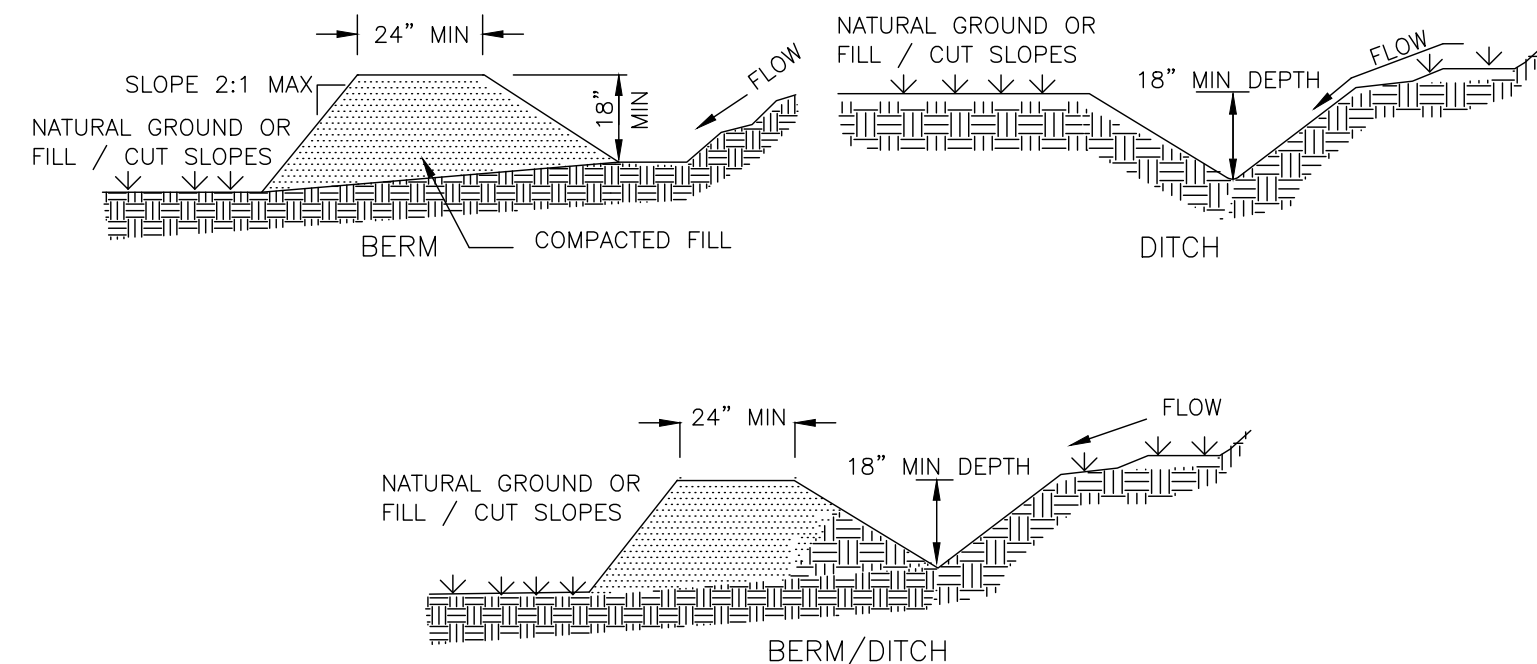
NOTE:

- * HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

TYPICAL CHANNEL LINER INSTALLATION



NTS

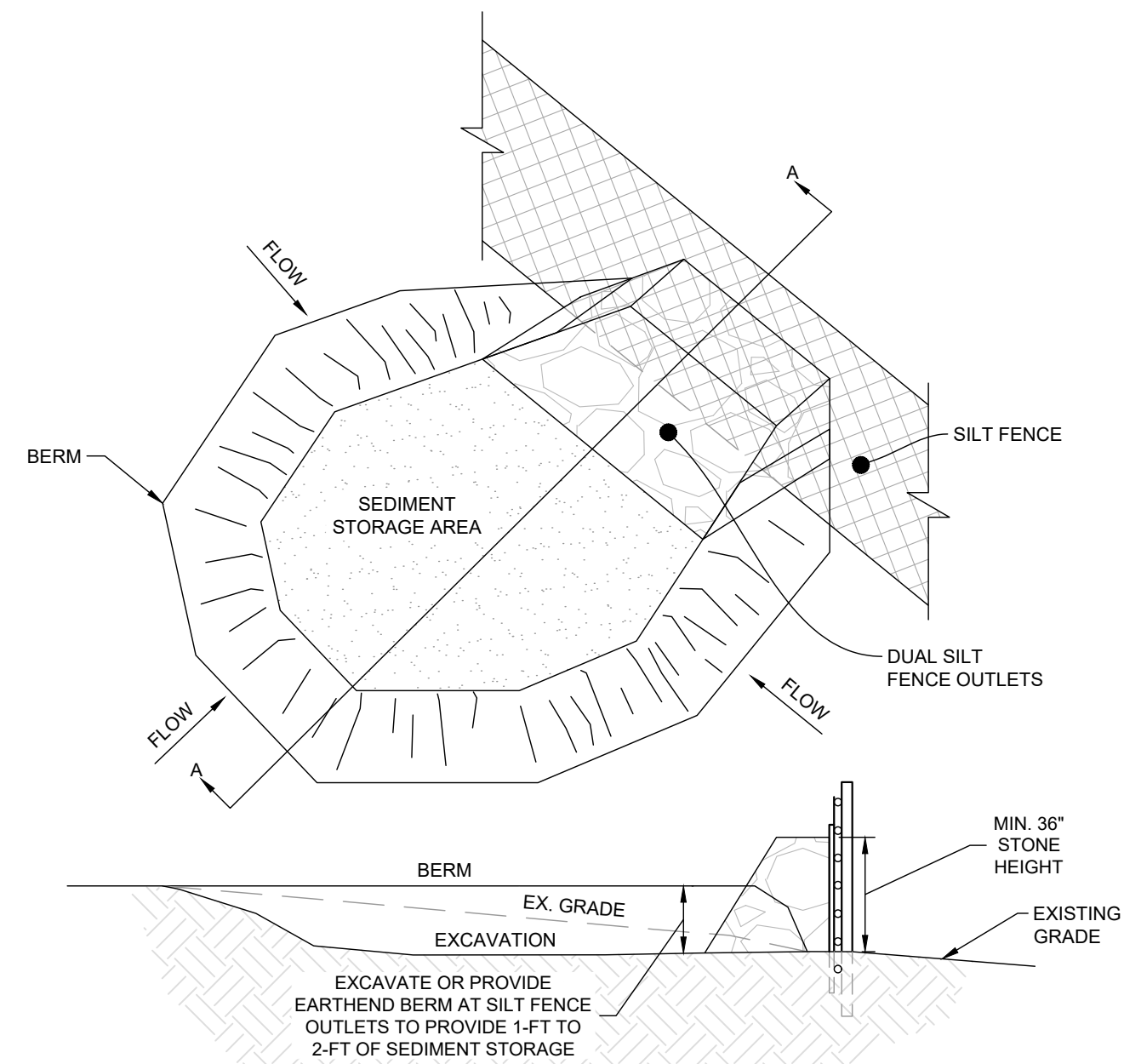


INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED.

WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND AREA WITH NATURAL GROUND LEVEL AND STABILIZE APPROPRIATELY.

POSITIVE GRADE MUST BE PROVIDED TO ASSURE DRAINAGE IF SLOPE EXCEEDS 2%. SEED AND MULCH DIVERSION, TRY NOT TO EXCEED 5% (HIGH VOLUMES RESULT). MAXIMUM D.A. = 50c WITHOUT SUPPORTING CALCS. DIVERSIONS AT THE TOP OF SLOPES MUST EMPTY INTO AN APPROVED SLOPE DRAIN. BERM/DITCH IS MOST COMMONLY USED SUFFICIENT TO DIRECT ALL SEDIMENT-LADEN STORMWATER INTO A SEDIMENT CONTROL DEVICE. MUST BE INSTALLED PRIOR TO CLEARING AND GRUBBING OF THE AREA (OR IN CONJUNCTION WITH THIS OPERATION IF SEDIMENT CONTROLS AND DIVERSIONS ARE INSTALLED AS EACH CRITICAL POINT IS REACHED).

- TEMPORARY DIVERSION BERM / DITCH
NTS



1. PROVIDE MIN. OF 1,800 CF OF SEDIMENT STORAGE VOLUME PER 1 AC. OF DRAINAGE AREA.
2. PROVIDE SEDIMENT STORAGE AT SILT FENCE OUTLETS NOTED ON PLAN AND AS NECESSARY BASED ON FIELD CONDITIONS. ADDITIONAL SEDIMENT STORAGE DEVICES AND/OR STORAGE VOLUME AT EACH DEVICE MAY BE REQUIRED AT THE DISCRETION OF THE EROSION CONTROL INSPECTOR OR PROJECT ENGINEER.
3. PROVIDE TEMPORARY DIVERSIONS TO EACH SEDIMENT STORAGE DEVICE AS NEEDED AND DIRECT SEDIMENT LADEN RUNOFF TO THE DIVERSIONS AND SILT FENCE OUTLETS THROUGHOUT ALL PHASES OF CONSTRUCTION.


1. INSPECT AND MONITOR SEDIMENT STORAGE DEVICES WEEKLY AND AFTER EACH RAINFALL EVENT.
2. STORAGE AREA SIZE, DEPTH, AND ELEVATIONS SHALL BE MAINTAINED THROUGH OUT ALL PHASES OF CONSTRUCTION AND REPAIRED AS NEEDED.
3. ONCE A MAXIMUM DEPTH OF 0.25 FT OF SEDIMENT HAS ACCUMULATED, ALL SEDIMENT SHALL BE IMMEDIATELY REMOVED AND THE ORIGINAL SIZE, DEPTH, AND ELEVATIONS OF THE STORAGE AREA SHALL BE RESTORED AS SHOWN ON THE APPROVED PLANS.

4. ANY MATERIAL REMOVED FROM SEDIMENT STORAGE DEVICES SHALL BE STORED ON-SITE IN THE SPILLS AREA AS SHOWN ON THE APPROVE EROSION CONTROL PLAN. ONCE FINAL GRADES ARE ACHIEVED, SUITABLE MATERIAL CAN BE SPREAD ON-SITE AS NEEDED FOR LANDSCAPING USE OR DISPOSED OF AT A PROPERLY PERMITTED LOCATION.
 5. MAINTAIN POSITIVE DRAINAGE TO THE SEDIMENT STORAGE DEVICE AND ASSOCIATED SILL FENCE OUTLETS THROUGHOUT ALL PHASES OF CONSTRUCTION.
- WHEN FINAL GRADES AS SHOWN ON THE APPROVED GRADING IS ACHIEVED, AND ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED, CONTACT THE EROSION CONTROL INSPECTOR FOR FINAL INSPECTION PRIOR TO DECOMMISSIONING EACH SEDIMENT STORAGE DEVICE.

NTS

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**SITE PLANS FOR
TRYON INVESTMENTS PH III
640 MEADOWLAND DRIVE,
HILLSBOROUGH, NC 27278**

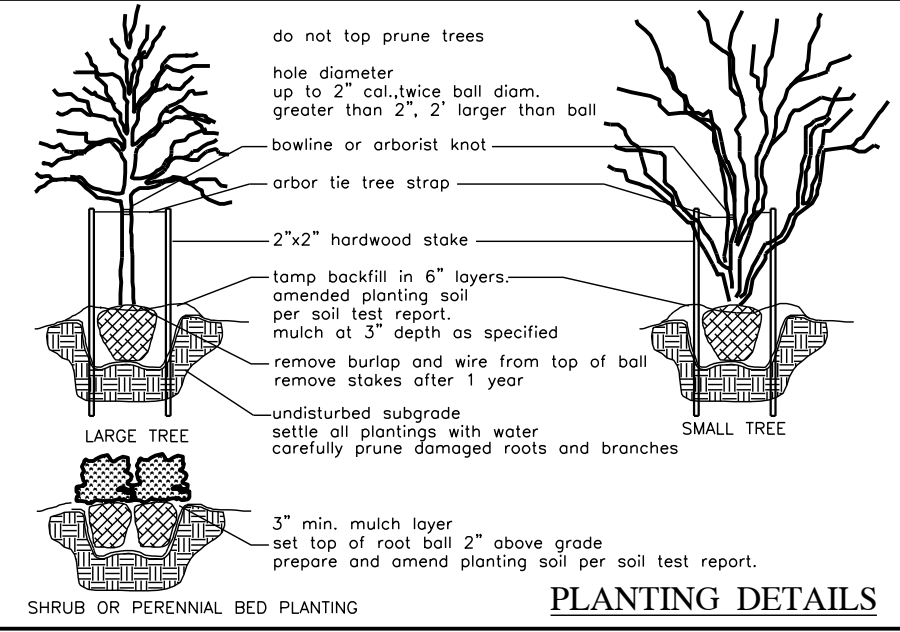
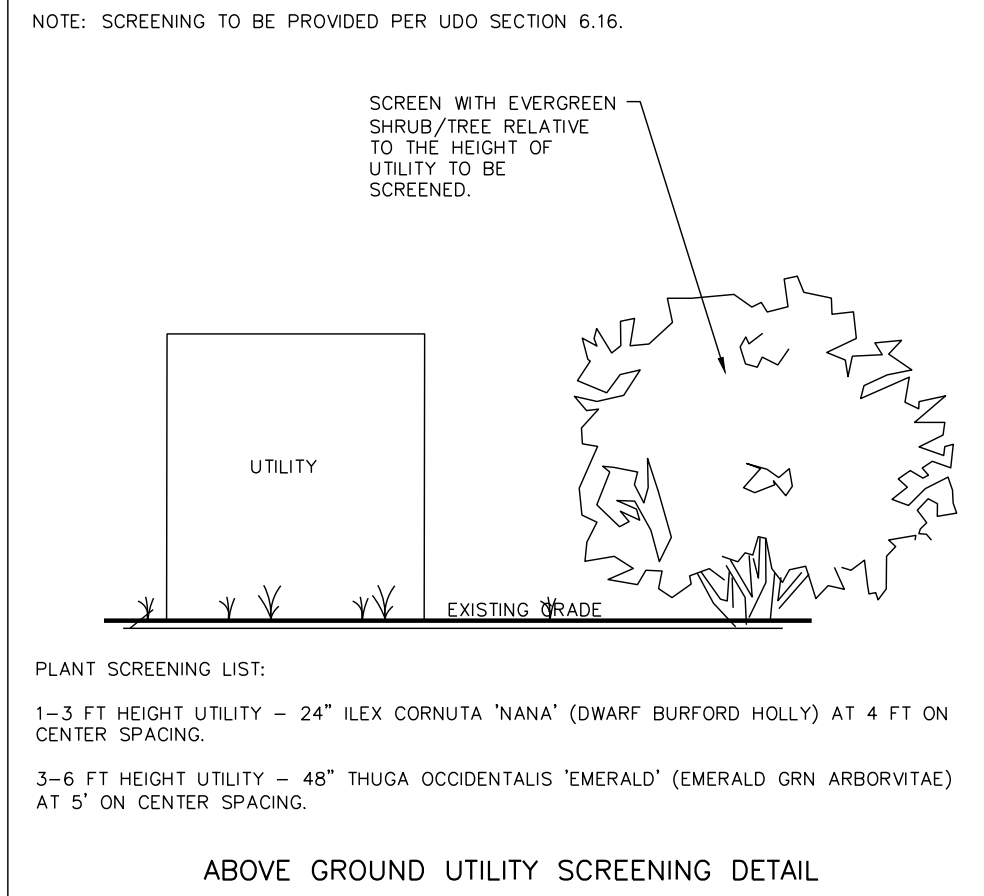
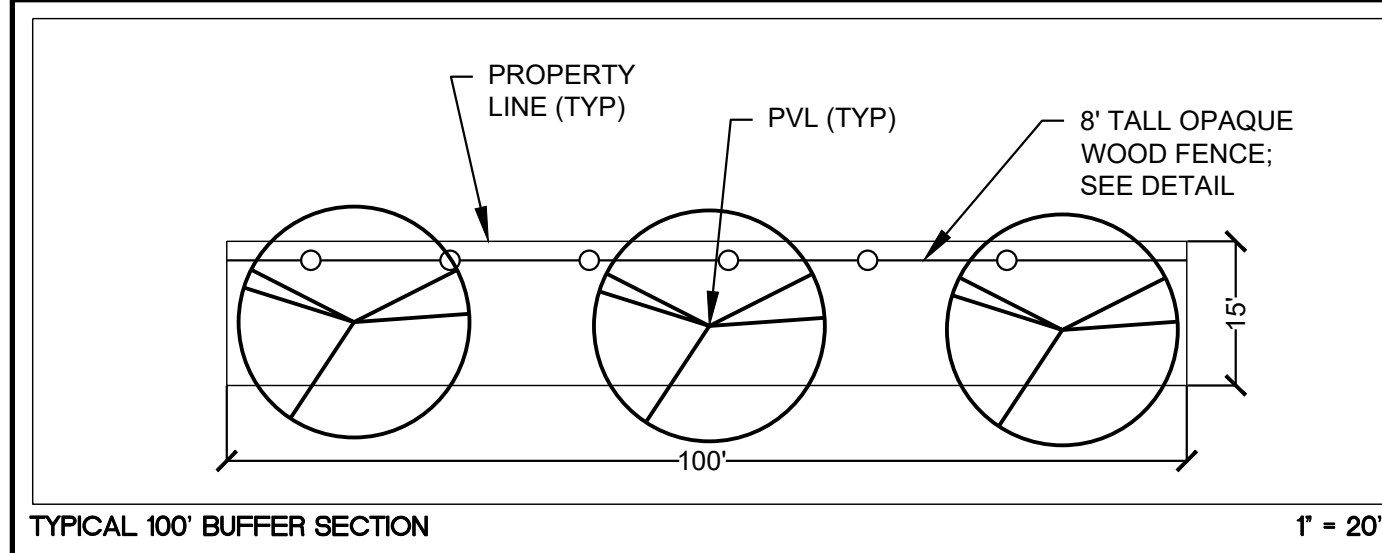
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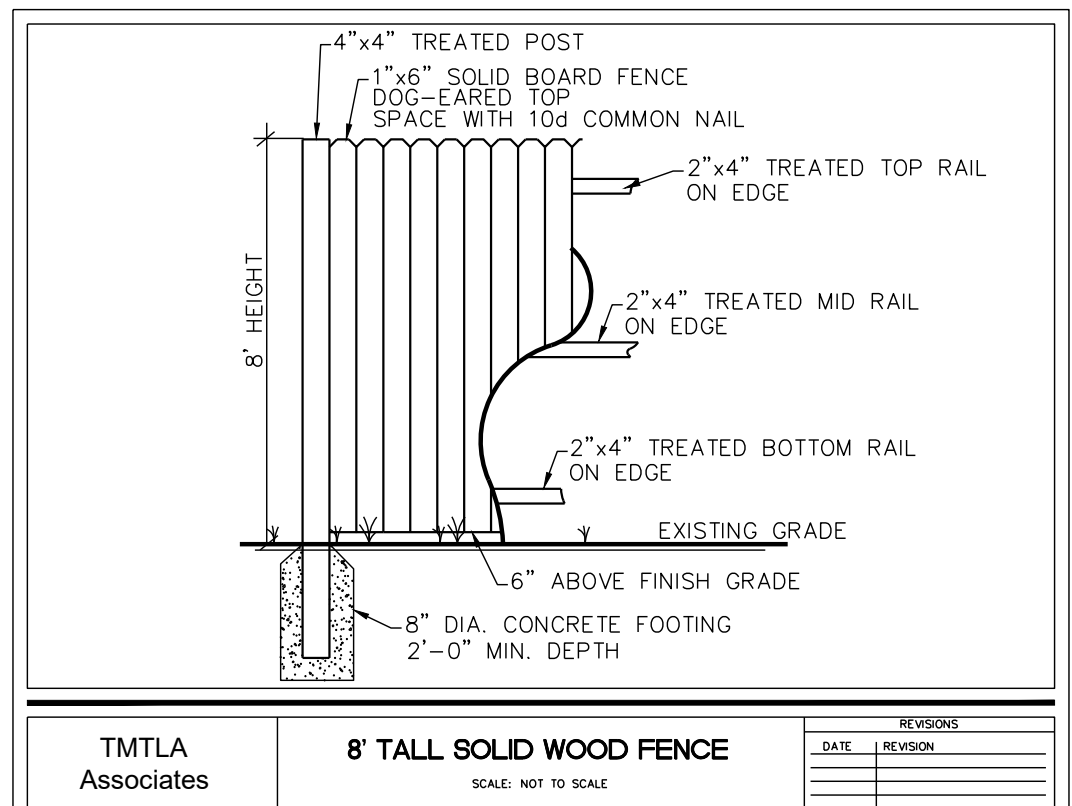


- GENERAL PLANTING NOTES**
1. VERIFICATION OF TOTAL QUANTITIES AS SHOWN SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR.
 2. ALL TREES, SHRUBS, AND BEDDING PLANTS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
 3. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
 4. SET TOP OF TREE ROOT BALL 4" ABOVE GRADE. SHRUBS 2" ABOVE GRADE.
 5. PLANT MATERIAL SHALL CARRY A ONE YEAR WARRANTY AND REPLACEMENT GUARANTEE.
 6. AMEND PLANTING SOIL WITH FERTILIZER AND/OR LIME PER SOIL TEST REPORT AT THE RECOMMENDED MANUFACTURERS APPLICATION RATE.
 7. GUYING AND STAKING, IF NECESSARY, SHALL BE REMOVED AFTER ONE GROWING SEASON.
 8. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
 9. ALL TREES HAVE BEEN LOCATED WITH RESPECT TO KNOWN OR EXISTING FACILITIES OR STRUCTURES. COORDINATE FIELD ADJUSTMENT WITH PROJECT OWNER OR AGENT.
 10. ALL PLANT BEDS AND PLANT MATERIAL, SHALL BE MAINTAINED IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH LOCALLY ADAPTED VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING STANDARDS OF THE LANDSCAPE ORDINANCE.
 11. REPORT ANY DISCREPANCIES TO THE PROJECT OWNER OR AGENT.
 12. SUBSTITUTIONS OR ALTERATIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN NOTIFICATION BY THE OWNER OR AGENT.
 13. APPLY 3" OF DOUBLE SHREDED HARDWOOD MULCH TO ALL PLANTING AREAS.
 14. ADD COMPOST TO PLANTING SOIL TO ACHIEVE 5% ORGANIC CONTENT.
 15. ALL MULCH BEDS ARE TO HAVE A SPADE-OUT EDGED WHEN ADJACENT TO TURF AREAS.

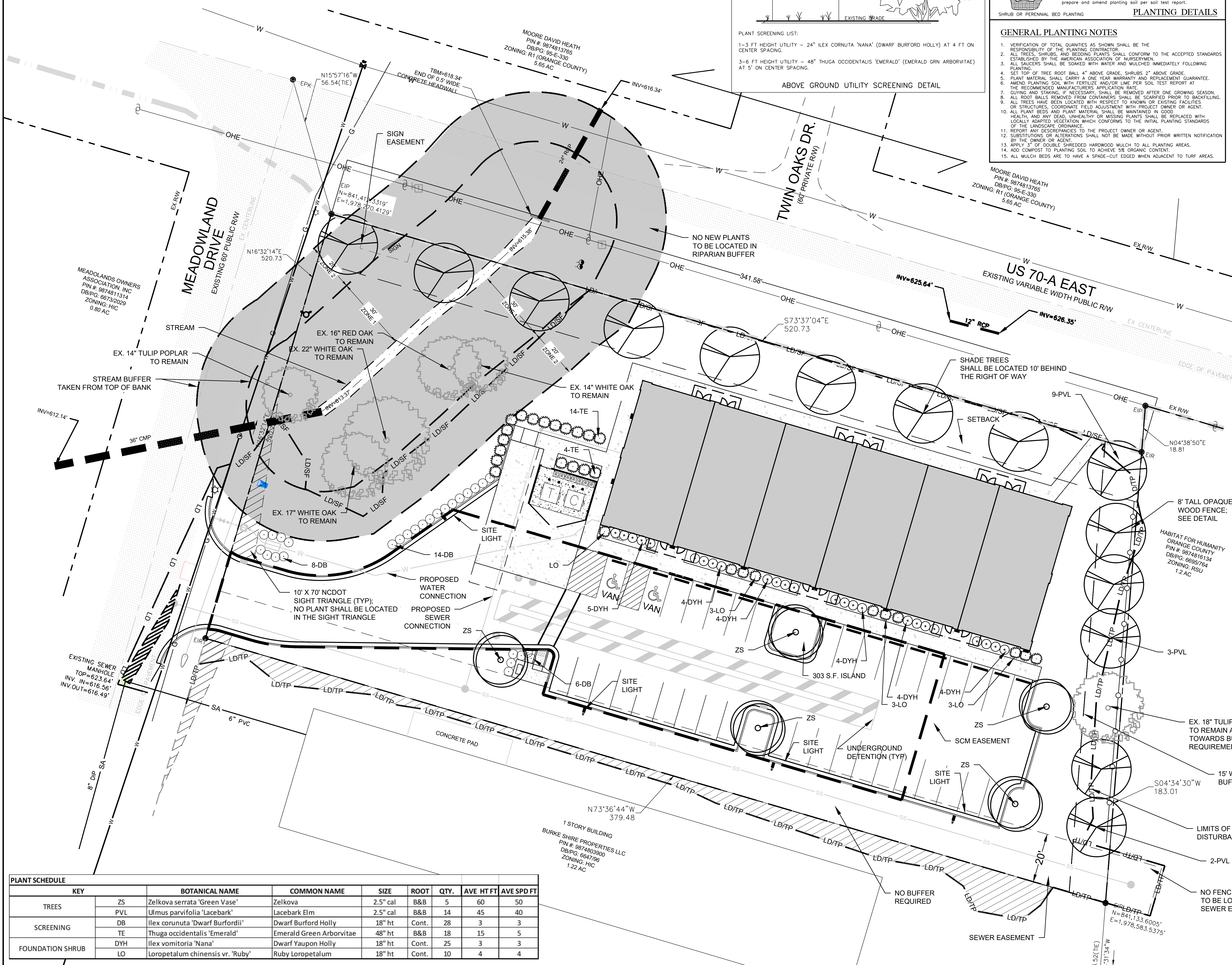
- PARKING LANDSCAPE REQUIREMENTS**
- ONE SHADE TREE REQUIRED PER SEVEN REQUIRED PARKING SPACES
TREES REQUIRED = 36 REQUIRED SPACES / 7 = 5 PROVIDED = 5
- 5' PLANTING AREA BETWEEN PARKING AND BUILDING FACE:
PROVIDED AT THE BUILDING FRONT;
- 15 SHRUBS (NO TALLER THAN 3 FEET AT MATURITY) PER 100 FEET OF PLANTING STRIP: 35 SHRUBS PROVIDED.
- MIN 300 SF LANDSCAPE ISLAND CONTAINING A SHADE TREE - PROVIDED
- BUFFER REQUIREMENTS**
- HIC ADJACENT TO RSU ZONING - 15' B BUFFER PROPOSED. BUFFER PROVIDED BY EXISTING AND NEW VEGETATION. OPAQUE FENCE ALSO PROPOSED IN BUFFER.
- BUFFER LENGTH: 183'
REQUIREMENT: 3 LARGE TREES PER 100', 8' TALL OPAQUE FENCE ALONG BUFFER
- REQUIRED: 6 LARGE TREES
8' TALL SEMI-OPAQUE FENCE
- PROVIDED: 7 LARGE TREES (1 EXISTING, 6 PROPOSED)
8' TALL SOLID WOOD FENCE

- SCREEN REQUIREMENTS**
- EVERGREEN SCREEN - PROVIDED AT DUMPSTER, PARKING LOT, AND ANY ABOVE GROUND UTILITIES, AND PER TYPICAL DETAIL.
- SHADE TREE REQUIREMENTS**
- SHADE TREES PER MIN 40' ON CENTER - A SIDEWALK IS PROPOSED TO BE CONSTRUCTED ALONG THE US 70-A EAST FRONTAGE IN THE FUTURE.
FRONTAGE: 341.58'
REQUIRED: 9 SHADE TREES ALONG US 70-A EAST
PROVIDED: 9 SHADE TREES ALONG US 70-A EAST

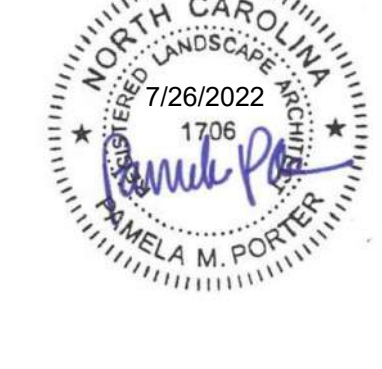
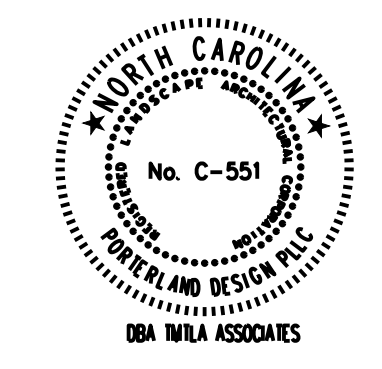
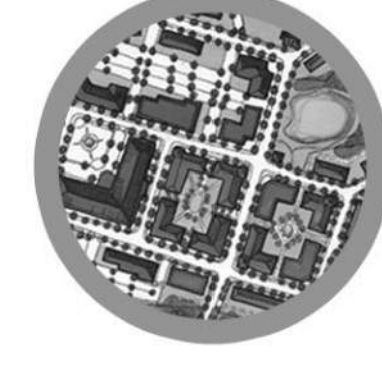
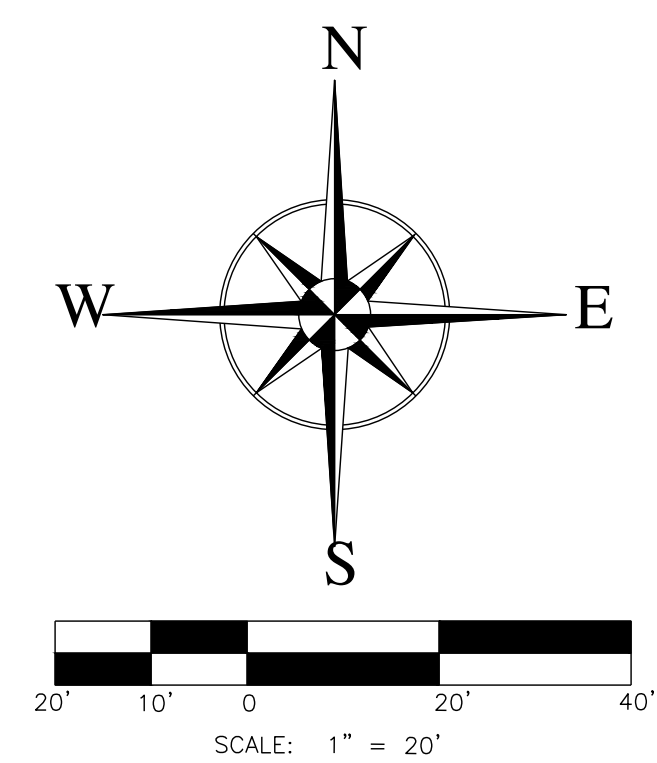
- LANDSCAPE NOTES**
1. All landscaping to be installed and maintained in accordance with the Town of Hillsborough Unified Development Ordinance and the latest edition of nursery standard by the American Nursery and Landscape Association (ANLA).
 2. Call utility locator service prior to any construction on this site. Contractor shall be responsible for confirmation of marked utilities within the area of work.
 3. Do not change the design without approval from the Owner and permit issuing Authority.
 4. All landscape areas not specified shall be finished as either a mulched landscape bed or as turf.
 5. All grass turf areas shall be permanently seeded with Rebel IV or Lesco tall turf fescue and established per sediment and erosion control requirements.
 6. No trees shall be located within utility easements.
 7. Landscape contractor shall verify plant quantities. If discrepancy exists, use quantity as shown on the plan.



NOTE: AESTHETICALLY PLEASING (SMOOTH) SIDE OF THE FENCE MUST FACT OUT TO STREETS AND NEIGHBORING PROPERTIES.



PLANT SCHEDULE							
KEY	BOTANICAL NAME		COMMON NAME	SIZE	ROOT	QTY.	AVE HT FT
TREES	ZS	Zelkova serrata 'Green Vase'	Zelkova	2.5" cal	B&B	5	60
	PVL	Ulmus parvifolia 'Lacebark'	Lacebark Elm	2.5" cal	B&B	14	45
SCREENING	DB	Ilex cornuta 'Dwarf Burfordii'	Dwarf Burford Holly	18" ht	Cont.	28	3
	TE	Thuja occidentalis 'Emerald'	Emerald Green Arborvitae	48" ht	B&B	18	15
FOUNDATION SHRUB	DYH	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	18" ht	Cont.	25	3
	LO	Loropetalum chinensis vr. 'Ruby'	Ruby Loropetalum	18" ht	Cont.	10	4



Know what's below.
Call before you dig.

REVISIONS:

11-18-2021	7/15/2022
1-11-2022	7/26/2022
4/19/2022	
5/2/2022	

Landscape Plan
TRYON INVESTMENTS PHASE III
PROPOSED FLEX SPACE BUILDING
640 MEADOWLAND DR., HILLSBOROUGH, NC 27278

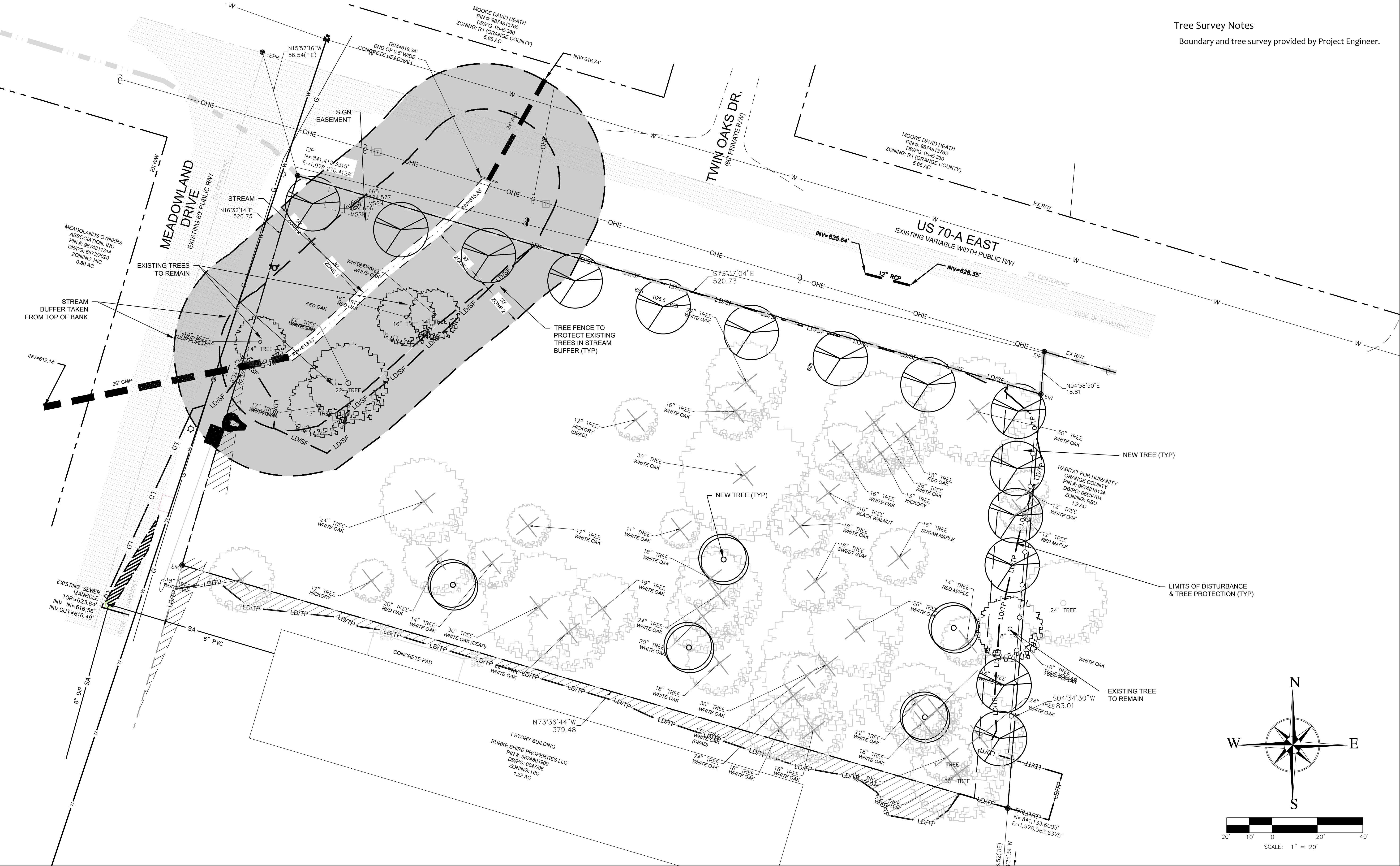
SCALE:
1" = 20'
DRAWN BY:
PMP
PROJECT #
21174
DATE:
8-23-2021

CANOPY COVERAGE CALCULATIONS - Tryon III	
a Parcel Area	1.48 AC
b Disturbance Area	1.28 AC (on-site disturbance only)
c Existing canopy tree area to remain	2,687 SF / 0.06 AC (estimated)
d Existing canopy tree area to be removed	23,629 SF / 0.54 AC (estimated)
e Total existing tree area on site	26,316 SF / 0.60 AC (estimated)
f Number of canopy trees to be removed	41
g Number of canopy trees being retained	6
h Number of trees 24-inches or greater dbh to be removed	11
i Tree replacement (Number of canopy trees installed)	19
j Tree replacement at 60% mature canopy area	16,447 SF (.38 AC) - see replacement chart
k Percentage of tree cover area before development	41% - 0.60 AC
l Tree canopy coverage after development (existing trees to remain plus replacement) c + j	19,134 SF (0.44 AC)
m Percentage of tree cover area after development	30% (0.44 AC)
n Method used to calculate the tree coverage area	Canopy area of existing trees retained plus newly planted trees at 60% estimated square feet of mature canopy area.

REPLACEMENT CANOPY COVERAGE AT 60% MATURE SPREAD							
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	AVG HT FT	AVG SPD FT (D)	AVG SF OF COVERAGE EA
ZS	Zelkova serrata 'Green Vase'	Zelkova	2.5" cal	5	60	50	5 * 1,963 = 9,815 s.f.
PVL	Ulmus parvifolia 'Lacebark'	Lacebark Elm	2.5" cal	14	45	40	14 * 1,257 s.f. = 17,598 s.f.
							60% of 9,815 s.f. = 5,889 s.f.
							60% of 17,598 s.f. = 10,558 s.f.
							16,447 s.f.

NOTE: During the planning phase of the project, consideration was given to possibly retaining some of the existing canopy trees on the site. However, due to the topography and the amount of grading required for the project, the majority of the existing canopy trees are to be removed. Six (6) existing canopy trees are to be retained and nineteen (19) canopy trees will be installed.

Tree Survey Notes
Boundary and tree survey provided by Project Engineer.



Know what's below.
Call before you dig.

REVISIONS:

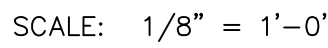
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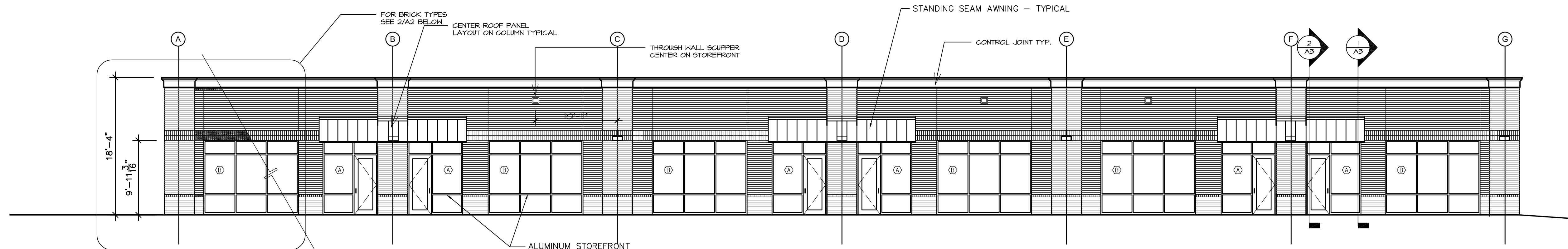
Tree Protection Plan
TRYON INVESTMENTS PHASE III
PROPOSED FLEX SPACE BUILDING
640 MEADOWLAND DR., HILLSBOROUGH, NC 27278

SCALE:
1" = 20'
DRAWN BY:
PMP
PROJECT #
21174
DATE:
8-23-2021

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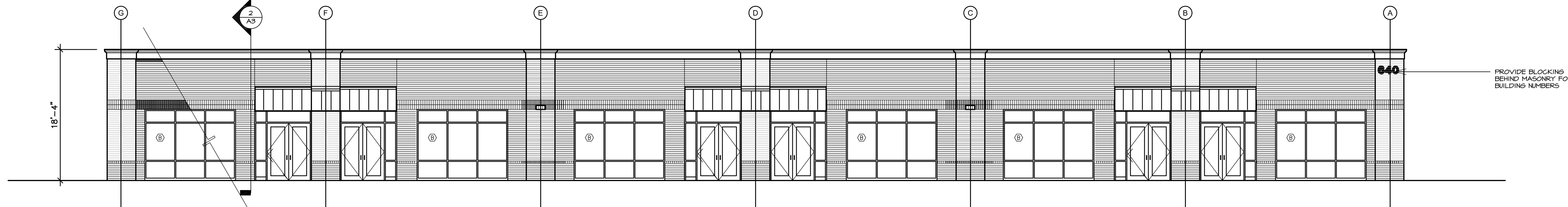




**A2.01
SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"
FACES PARKING LOT

TOTAL AREA OF FACADE	3,318.33 SF	WIDTH OF FACADE	181 LINEAR FEET
TOTAL AREA OF FACADE TO ROOF LINE	2,657.68 SF	TOTAL WIDTH OF ALL GLAZING	120 LINEAR FEET
TOTAL AREA OF GLAZING	1,191.20 SF	TOTAL PERCENTAGE OF GLAZING TO FACADE	66.30%
PERCENTAGE OF GLAZING TO ROOF LINE	44.82%		
PERCENTAGE OF GLAZING TO TOP OF PARAPET	35.90%		



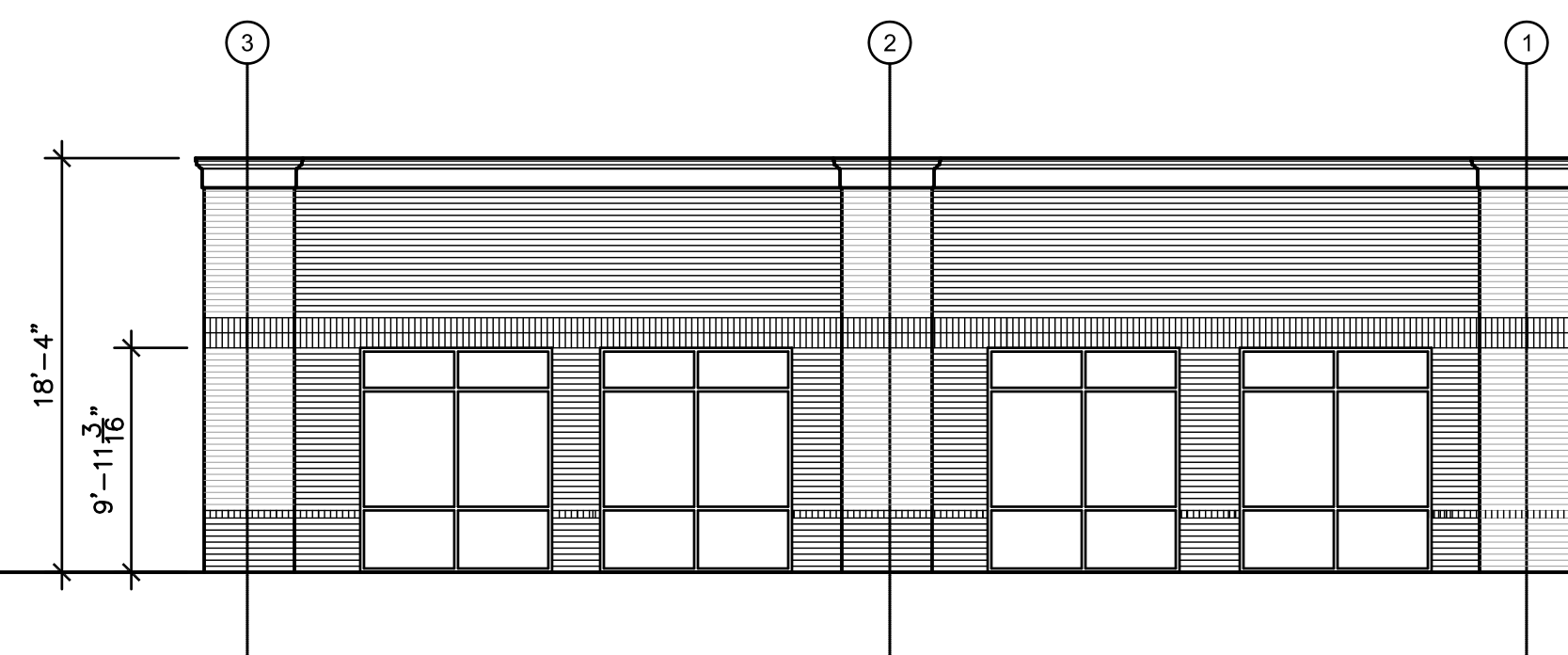
**A2.02
NORTH ELEVATION**

SCALE: 1/8" = 1'-0"
FACES US 70-A EAST

TOTAL AREA OF FACADE	3,318.33 SF	WIDTH OF FACADE	181 LINEAR FEET
TOTAL AREA OF FACADE TO ROOF LINE	2,657.68 SF	TOTAL WIDTH OF ALL GLAZING	123'-6" LINEAR FEET
TOTAL AREA OF GLAZING	1,019.04	TOTAL PERCENTAGE OF GLAZING TO FACADE	68.23%
PERCENTAGE OF GLAZING TO ROOF LINE	38.34%		
PERCENTAGE OF GLAZING TO TOP OF PARAPET	30.71%		

ELEVATION NOTES:

1. ALL ROOF MOUNTED MECHANICAL UNITS ARE SCREENED FROM FROM ALL STREETS AND PEDESTRIAN AREAS BY PARAPET WALLS.
2. ALL WINDOWS ARE VISIBLY TRANSPARENT. NO MIRRORED OR UV GLASS TO BE USED.
3. TENANT SIGNAGE WILL BE PROVIDED ON BOTH NORTH AND SOUTH ELEVATIONS.



**A2.03
EAST ELEVATION**

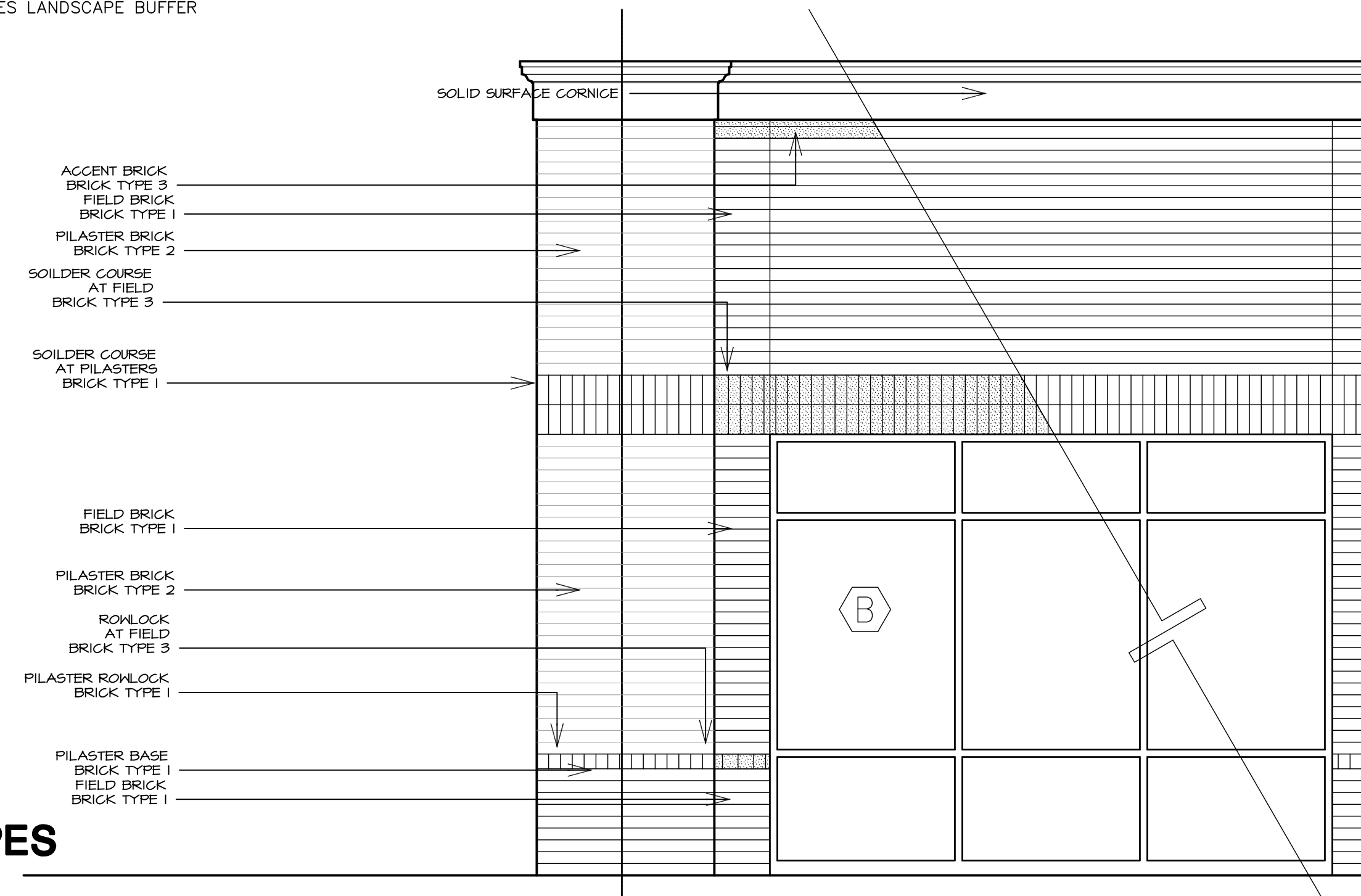
SCALE: 1/8" = 1'-0"
FACES LANDSCAPE BUFFER

TOTAL AREA OF FACADE	1,109.17 SF	WIDTH OF FACADE	60'-10' LINEAR FEET
TOTAL AREA OF FACADE TO ROOF LINE	889.85 SF	TOTAL WIDTH OF ALL GLAZING	34'-0" LINEAR FEET
TOTAL AREA OF GLAZING	244.8 SF	TOTAL PERCENTAGE OF GLAZING TO FACADE	55.59%
PERCENTAGE OF GLAZING TO ROOF LINE	27.51%		
PERCENTAGE OF GLAZING TO TOP OF PARAPET	22.07%		

**A2.04
WEST ELEVATION**

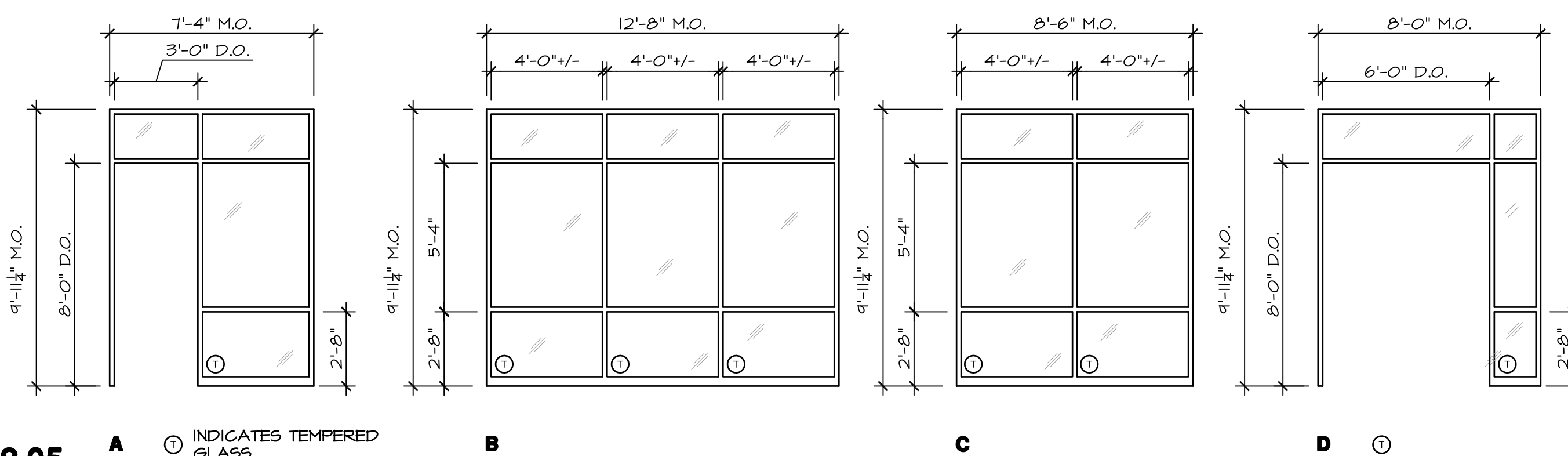
SCALE: 1/8" = 1'-0"
FACES MEADOWLAND DRIVE

TOTAL AREA OF FACADE	1,109.17 SF	WIDTH OF FACADE	60'-10' LINEAR FEET
TOTAL AREA OF FACADE TO ROOF LINE	889.85 SF	TOTAL WIDTH OF ALL GLAZING	34'-0" LINEAR FEET
TOTAL AREA OF GLAZING	244.8 SF	TOTAL PERCENTAGE OF GLAZING TO FACADE	55.59%
PERCENTAGE OF GLAZING TO ROOF LINE	27.51%		
PERCENTAGE OF GLAZING TO TOP OF PARAPET	22.07%		



**A2.06
BRICK TYPES**

SCALE: 3/8" = 1'-0"



**A2.05
STOREFRONT ELEVATIONS**

SCALE: 1/4" = 1'-0"