

Certificate of Appropriateness Narrative

Street , Hillsborough NC

Introduction

The house under consideration for this project rests on _____ Street. This one-story, side-gabled, Minimal Traditional-style house is three bays wide and double-pile with a projecting, front-gabled bay on the left (north) end of the front façade. The house has German-profile weatherboards, a replacement metal roof, replacement one-over-one windows, and two interior brick chimneys without fireplaces. The six-light-over-three panel wood front door, centered on the façade, is sheltered by a later, shed-roofed porch supported by a decorative metal post. There is a hip-roofed projecting bay on the right (south) elevation and an earlier addition of a shed-roofed wing at the rear (east) that has replacement one-over-one windows. On the right side, there is a six-light-over three-panel wood door exiting the kitchen onto a concrete and brick stoop and stairs. At the rear, there is a single wood casement window lighting the current laundry room. The six-light-over-two-panel clad wood rear door exits from the kitchen onto a treated wood landing with wood stairs. County tax records date the original building to 1938.



Front (West) Existing Elevation

Given the existing plantings (which are not affected by project), additions will not be visible directly from front streetscape. This brick chimney (1) is used and remains.

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South-West Corner Existing Elevation

New laundry addition (2) will be visible from driveway, but its new gable metal roof is in keeping with existing rear shed roof and mirrors the shed roof over front porch.



Side (South) Existing Elevation

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Rear (East) Existing Elevation

Many components (rear door, two windows) of the existing rear elevation will be reused in the new additions. This non-functional chimney (3) will be removed.

Precedence

With acknowledgement that each application is evaluated based upon its own conditions and merits, please note that this project is inspired by renovations made circa 2013 to 121 East Union Street, Hillsborough NC 27278.



Inspiration from laundry addition at 121 E Union

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Inspiration from sunroom addition at 121 E Union

Proposed Project

The project will renovate and provide additions towards the rear of the house at _____ Street to improve its function and expand its use. The project includes a new laundry room on right (south) side, and a cathedral ceiling sun room and a deck in the rear. Corresponding exterior changes that fall under the purview of the HDC include:

- Removal of existing rear brick patio
- Removal of existing rear wood porch and stairs
- Removal of existing right (south) side concrete porch and brick stairs
- Removal of existing non-functional internal brick chimney in current laundry room/pantry
- Removal and preservation for reuse of existing rear (east) exterior siding
- Removal and preservation for reuse of existing right (south) side siding at site of laundry room addition
- Addition of rear (east) 27' x 15' sun room (405 sq ft) with new double-walled stainless steel black powder coated chimney above left (north) wall
- Addition of rear (east) 24' x 5' wood deck (120 sq ft) with 5' wide stairs leading to back garden
- Addition of right (south) side 9'-6" x 5' laundry room (48 sq ft) with wood landing and stairs leading to back garden

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Materials

Component	Existing	Proposed
Windows	Wood	Wood or aluminum clad wood, double hung; Triangular fixed low-E windows
Doors	Wood; Clad wood	Sliding, wood or aluminum clad wood; Reuse existing door for laundry room exit
Siding	Wood	Painted wood to match existing
Trim	Wood	Painted wood to match existing
Deck	n/a (only stoops per introduction)	Pressure treated lumber
Deck railings	None (side), wood (rear)	Wood framing with guards of 6 gauge 4" square mesh with welded cross points, black color
Roof	5V metal panel, red	5V metal panel on laundry & asphalt shingles on rear addition, red for close match to existing
Foundation	Red brick running bond	Brick to match existing
Chimney	Brick, non-functional interior rear	Class A direct vent chimney, double wall stainless steel black powder coated



6 gauge 4" mesh w/ weld cross points, black inspired by Wild Hog Railing

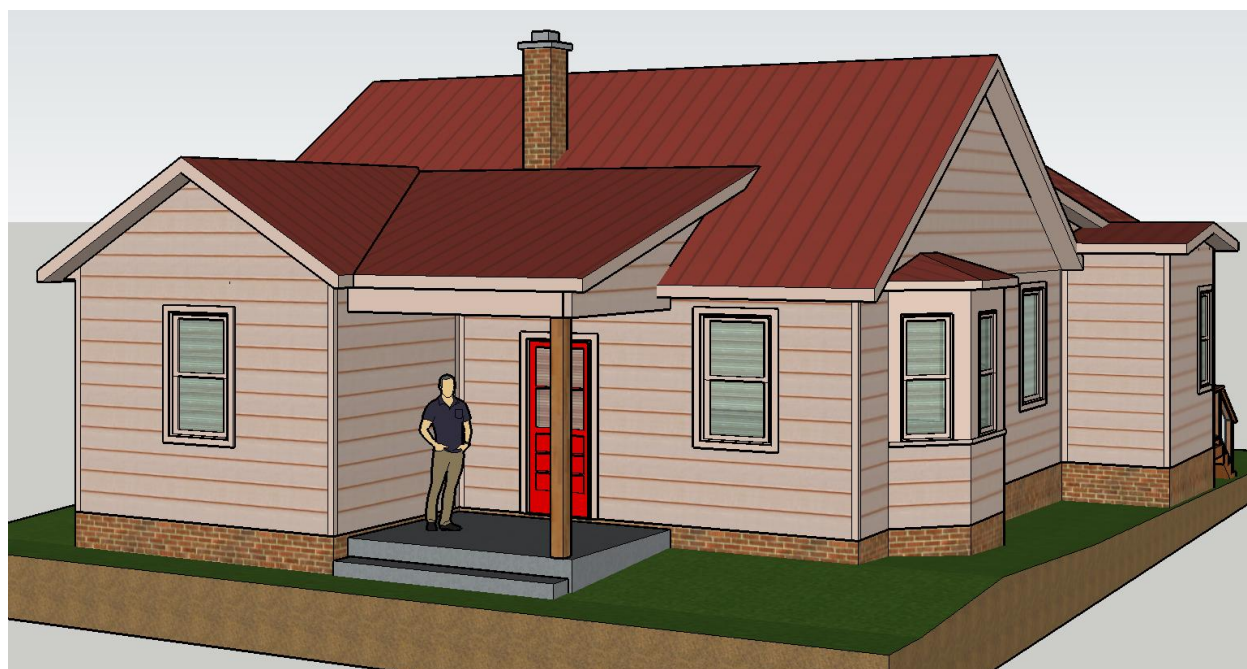
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Elevations, Renderings, and Site Plan

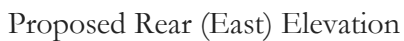
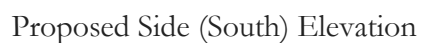


Proposed Front (West) Elevation



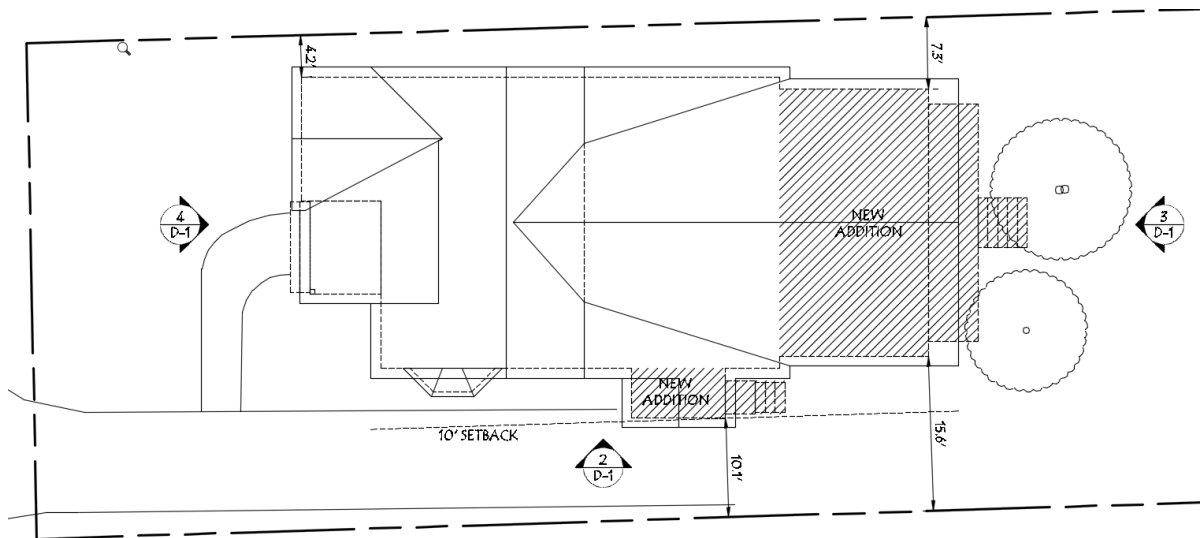
Proposed South-West Corner Rendering

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Proposed Rear (East) Rendering



Site Plan